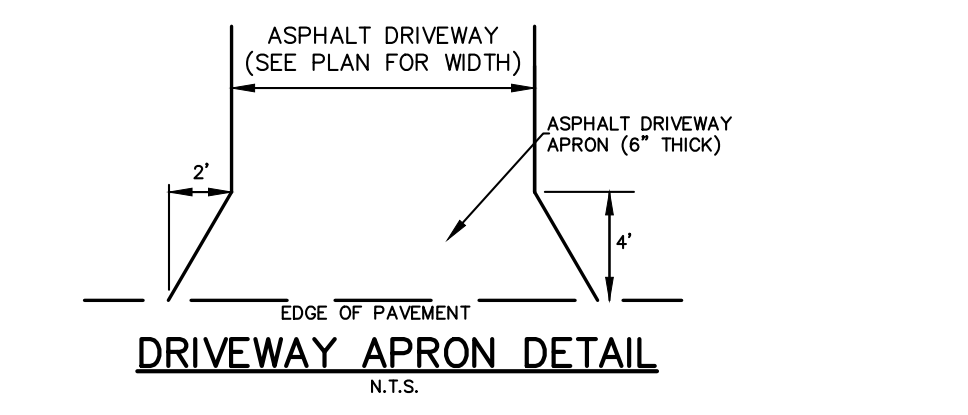
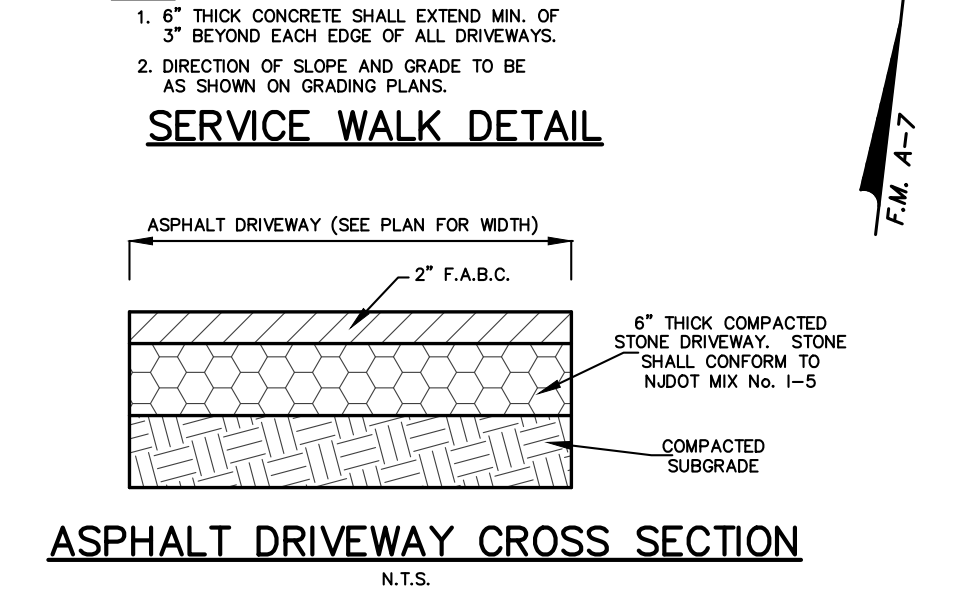
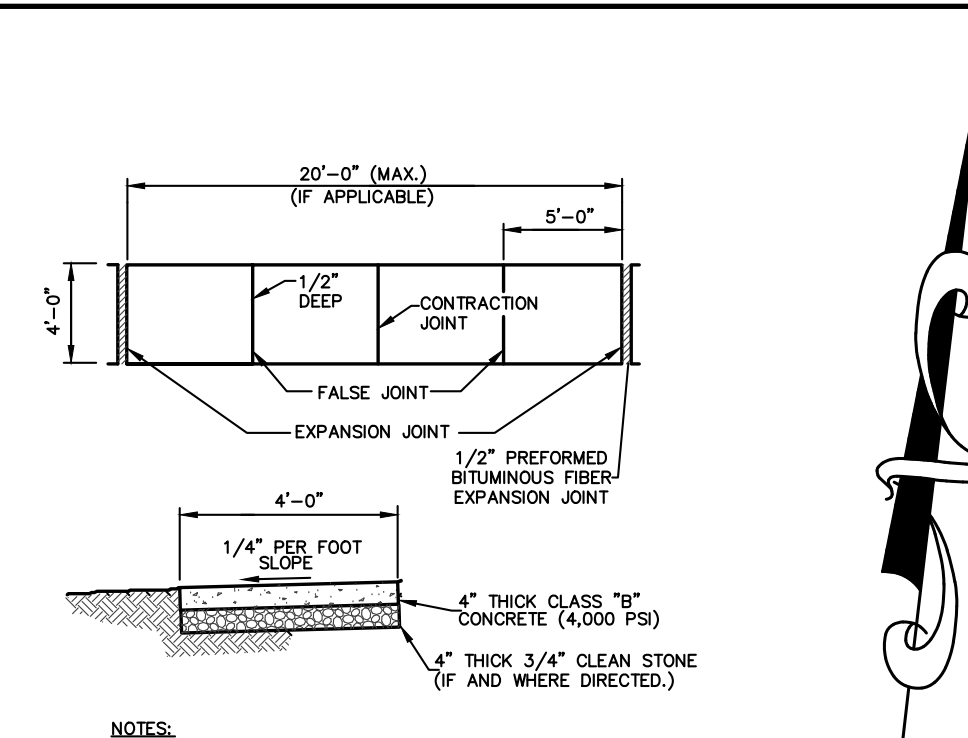
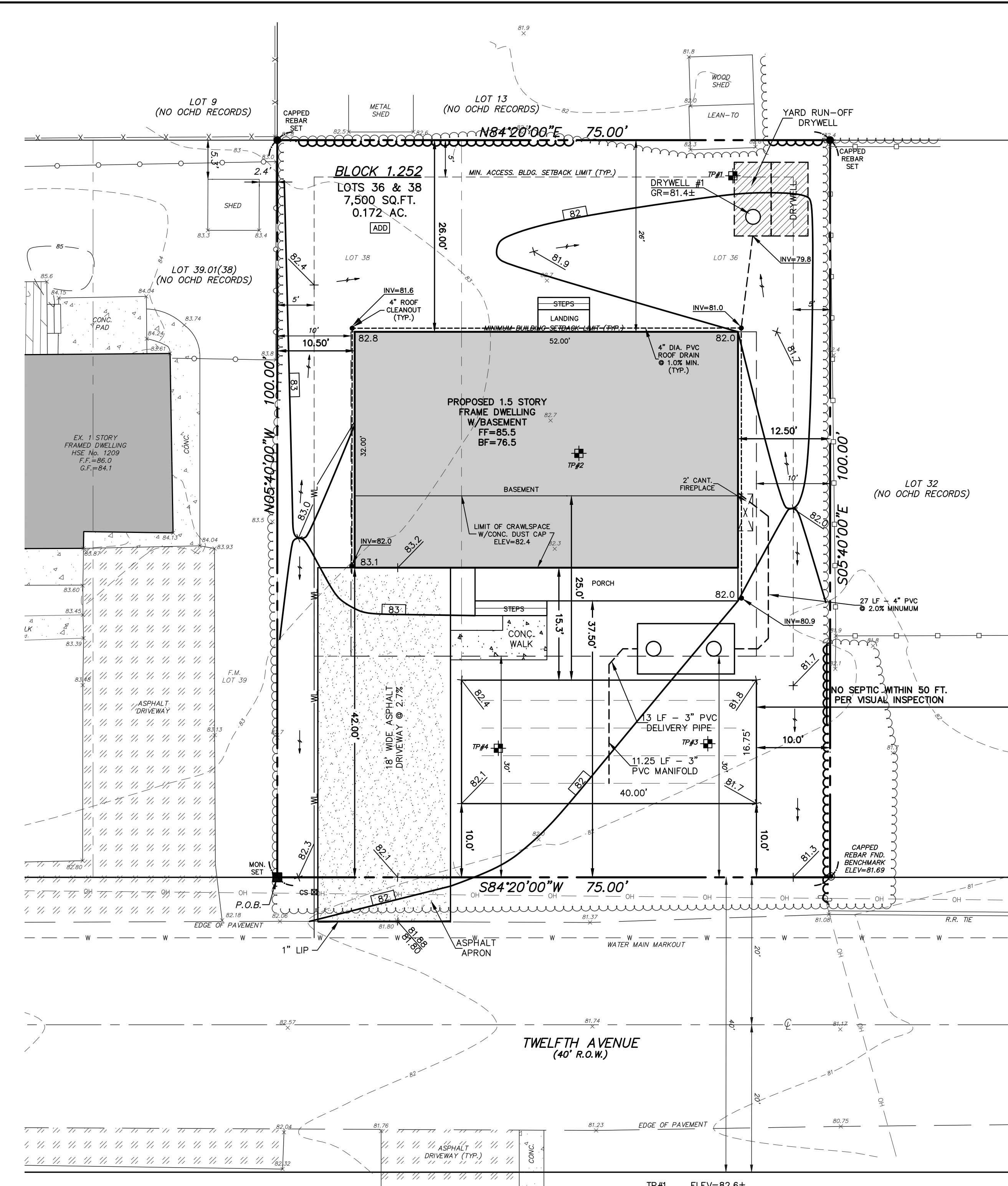


**CERTIFIED PROPERTY OWNERS LIST WITHIN 200 FEET**  
 CERTIFIED PROPERTY OWNERS LIST FROM MANCHESTER TOWNSHIP DATED JUNE 2023

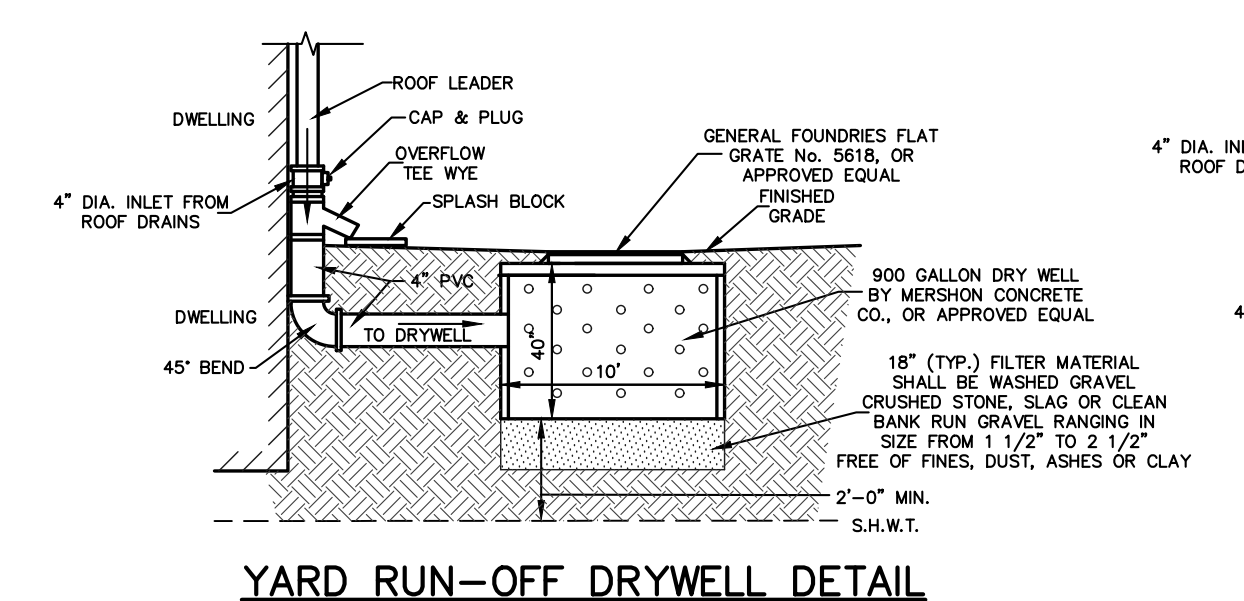
COMCAST 820 RT 347 WEST TOMS RIVER NJ 08755	B 1,238-L 18 C AND O PROPERTY LLC 5014-16 AVE APT 24 BROOKLYN NY 11204	B 1,238-L 13 RICHARD W & ALINA TAYLOR 1216 MADISON AVE TOMS RIVER NJ 08757
VERIZON ENG DEPT PO BOX 152206 IRVING TX 75015	B 1,238-L 22 LLOYD & JACQUELINE SMITH 163 PEMBERTON ST TOMS RIVER NJ 08757	B 1,252-L 18,01 DOWD & SARA H SICKER 305 ROSE CT LAKEWOOD NJ 07075
GPU 400 LINCOLN ST PHILIPSBURG NJ 08865	B 1,238-L 26 JAMES A PITMAN 1233 COMMONWEALTH BLVD TOMS RIVER NJ 08757	B 1,252-L 22 KEVIN D SAVINI & A N OWENS-SAVINI 1213 PEMBERTON ST TOMS RIVER NJ 08757
MANCHESTER TWP CLERKS OFFICE 1 COLONIAL DR MANCHESTER NJ 08759	B 1,238-L 32 RICHARD L JR & YALENA O DURHAM 1225 COMMONWEALTH BLVD TOMS RIVER NJ 08757	B 1,252-L 28,01 SUBURBAN AGENCY INC PO BOX 109 LAKEWOOD NJ 07075
NUEP ON 401 TRENTON NJ 08625	B 1,238-L 36 MARIA MAGGIORE 1217 COMMONWEALTH BLVD TOMS RIVER NJ 08757	B 1,252-L 36 BRESKORRIDGE PROPERTIES LLC PO BOX 925 PT PLEASANT BORO NJ 08742
NDOT RT 79 & DANIELS WAY FRESHFIELD NJ 07729	B 1,238-L 40 MATTHEW DAVIES & MARIA MAGGIORE 1217 COMMONWEALTH BLVD TOMS RIVER NJ 08757	B 1,252-L 38 LOR DALLESANDRO 1209 TWELFTH AVE TOMS RIVER NJ 08757
NJ NATURAL GAS CO PO BOX 1464 WALL NJ 07719	B 1,238-L 42 THOMAS F JR BARONE 1209 COMMONWEALTH BLVD TOMS RIVER NJ 08757	B 1,267-L 1 ALAN & CINDY WOLF 1201 MADISON AVE TOMS RIVER NJ 08757
OCEAN COUNTY MUA PO BOX P BAYVILLE NJ 08721	B 1,238-L 44 ZACARUS AMARO 1213 SOUTHAMPTON BLVD TOMS RIVER NJ 08757	B 1,267-L 29 THOMAS & JACQUELINE SALISKI 1233 MADISON AVE TOMS RIVER NJ 08757
OCEAN COUNTY ROAD DEPT 118 HOOKER AVE TOMS RIVER NJ 08753	B 1,238-L 46 ALEXIS R & TIMOTHY J RUSSEL 1200 TWELFTH AVE TOMS RIVER NJ 08757	B 1,267-L 35 CHRISTOPHER F ROOT 1225 MADISON AVE TOMS RIVER NJ 08757
B 1,238-L 1 ALFRED CANNON 1201 COMMONWEALTH BLVD TOMS RIVER NJ 08757	B 1,238-L 9 VINCENT & SUSAN DAMATO 1208 TWELFTH AVE TOMS RIVER NJ 08757	B 1,252-L 39 MARK F & SHEENA M KING 1217 MADISON AVE TOMS RIVER NJ 08757
B 1,238-L 5 ALEXIS R & TIMOTHY J RUSSEL 1200 TWELFTH AVE TOMS RIVER NJ 08757	B 1,238-L 13 DAVID L BONILLA & MEGAN PEACE 1216 TWELFTH AVE TOMS RIVER NJ 08757	B 1,238-L 17 GEORGE & LORETTA WOODLEY 1208 MADISON AVE TOMS RIVER NJ 08757
B 1,238-L 9 VINCENT & SUSAN DAMATO 1208 TWELFTH AVE TOMS RIVER NJ 08757	B 1,238-L 17 MANCHESTER TWP 1 COLONIAL DR MANCHESTER NJ 08759	



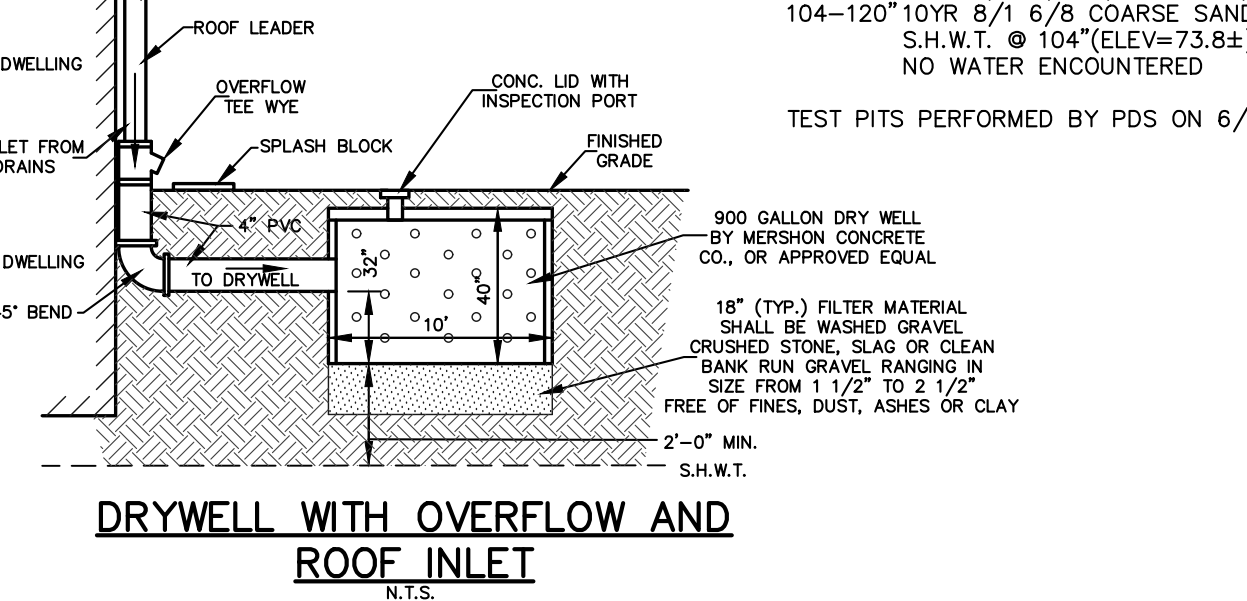
- GENERAL NOTES:**
- PROPERTY IS KNOWN AS BLOCK 1,252, LOTS 36 & 38 AS SHOWN ON THE MANCHESTER TOWNSHIP TAX MAP SHEET 7.04.
  - BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED, "MINOR SUBDIVISION FOR TAX BLOCK 1,252 TAX LOTS 36 & 38, (REFERENCE TAX MAP SHEET NO. 7.04), TOWNSHIP OF MANCHESTER, OCEAN COUNTY NEW JERSEY", PREPARED BY PROFESSIONAL DESIGN SERVICES, L.L.C., DATED 6/12/23.
  - ALL UTILITIES TO BE INSTALLED UNDERGROUND.
  - SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE DISPOSAL SYSTEM.
  - WATER SERVICE TO BE PROVIDED BY MUNICIPAL WATER SUPPLY.
  - EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
  - ALL CONSTRUCTION TO BE IN CONFORMANCE WITH APPLICABLE CODES, ORDINANCES AND MANUFACTURER'S REQUIREMENTS.
  - AREAS OF PROPOSED CONSTRUCTION SHALL BE CLEARED ONLY AS REQUIRED.
  - THE PERMEABILITY OF THE ON-SITE SOILS ARE K-4 (6-20" INCHES/HOUR) PER USDA SOILS SURVEY.
  - IT IS PROPOSED TO PLANT THREE (3) 4'-8" HIGH TREES TO MEET TOWNSHIP TREE ORDINANCE. TREE TYPES AND LOCATION TO BE DETERMINED IN FIELD, AND DONE PRIOR TO FINAL SURVEY IN ORDER TO OBTAIN A CERTIFICATE OF OCCUPANCY.
  - THE DISCHARGE OF ANY SUMP PUMPS SHALL BE CONNECTED TO A SEPARATE DRYWELL.
  - TOPOGRAPHY IS IN NAVD 1988 DATUM.
  - THE PROPERTY IS LOCATED IN FLOOD ZONE X.
  - TREES AND BUSHES MAY NOT BE CROPPED WITHIN 10 FEET FROM THE SEPTIC FIELD.
  - AN EJECTOR PUMP (BASEMENT BATHROOM) IS NOT PERMITTED AS PART OF THIS SEPTIC DESIGN.
  - THE SEPTIC DESIGN SHOWN IS BASED UPON A 3 BEDROOM SINGLE FAMILY DWELLING.
  - THE PROPOSED GRADING AND FLOOR ELEVATIONS WILL NOT DETRIMENTALLY IMPACT UPON ANY ADJOINING PROPERTY OWNER.

**R-10 ZONE REQUIREMENTS**

	REQUIRED	PROVIDED
MINIMUM LOT AREA	10,000 SQ.FT.	7,500 SQ.FT.(2)
MINIMUM LOT FRONTAGE	100 FT.	75.00 FT.(2)
MINIMUM LOT WIDTH	100 FT.	75.00 FT.(2)
MINIMUM FRONT YARD SETBACK	30 FT.	37.50 FT.
MINIMUM REAR YARD SETBACK	26 FT.	23.00 FT.
MINIMUM SIDE YARD SETBACK	10 FT.	10.50 FT.
MINIMUM ACCESSORY REAR YARD SETBACK	5 FT.	N/A
MINIMUM ACCESSORY SIDE YARD SETBACK	5 FT.	N/A
MAXIMUM BUILDING COVERAGE	25%	24.3%
MAXIMUM LOT COVERAGE	35%	32.1%
MAXIMUM BUILDING HEIGHT	25 FT./1.5 STORIES(1) 23.78 FT./1.5 STORIES	
MINIMUM IMPROVABLE LOT AREA	5,800 SQ.FT.	4,225 SQ.FT.(2)



**YARD RUN-OFF DRYWELL DETAIL**  
 N.T.S.  
 NOTE: DRYWELL TO BE WRAPPED IN FILTER FABRIC.  
 NOTE: RESTRICTIVE LAYERS WITHIN 2 FEET OF DRYWELL MUST BE REMOVED.



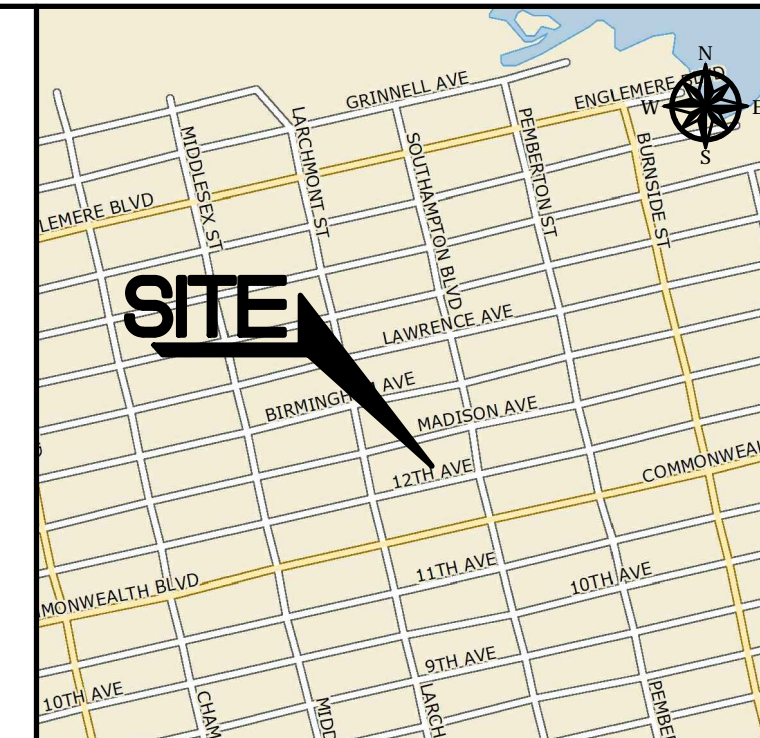
**DRYWELL WITH OVERFLOW AND ROOF INLET**  
 N.T.S.  
 NOTE: DRYWELL TO BE WRAPPED IN FILTER FABRIC.

VOLUME REQUIRED = 1.00 C.F./6 SQ.FT. OF ROOF AREA  
 ROOF AREA = 1,824 SQ.FT.  
 VOLUME REQUIRED = 1,824/6 = 304 C.F.  
 VOLUME OF DRY WELL = 167 C.F.  
 VOLUME OF STONE = 25 C.F.  
 TOTAL VOLUME PER DRYWELL = 192 C.F.  
 (2 REQUIRED; 2 PROPOSED)

**OWNER/APPLICANT:**  
 JEFFREY R. JERMAN  
 PO BOX 922  
 PT. PLEASANT BOROUGH NJ 08742  
 732-701-3044  
 JEFFJERMAN@MSN.COM

**THE MANCHESTER TOWNSHIP ZONING BOARD**

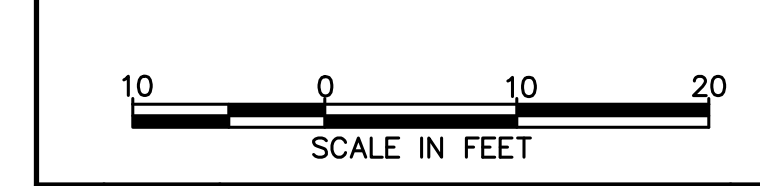
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE



**KEY MAP**  
 SCALE: 1"=1,000'

**LEGEND**

EXISTING SPOT ELEVATION	ELEV
EXISTING CONTOUR	ELEV
PROPOSED SPOT ELEVATION	ELEV
EXISTING EDGE OF WOODS	W
PROPOSED EDGE OF WOODS	W
EXISTING WATER MAIN	8" W
PROPOSED WATER MAIN & SIZE	8" W
PROPOSED STREET ADDRESS	ML
PROPOSED 1" POLY WATER SERVICE	CS
PROPOSED CURB STOP	CS
PROPOSED SEPTIC TANK	CS
PROPOSED DISPOSAL FIELD	CS
EXISTING FIRE HYDRANT	CS
EXISTING WATER VALVE	CS
EXISTING WATER BOX	CS
EXISTING SIGN	CS
EXISTING UTILITY POLE	CS
EXISTING GUY WIRE	CS
EXISTING OVERHEAD WIRES	CS
EXISTING CHAIN LINK FENCE	CS
EXISTING WOOD FENCE	CS
EXISTING VINYL FENCE	CS
TEST PIT/SOIL BORING LOCATION	CS
PROPOSED GAS MAIN	CS



No.	DATE	DESCRIPTION	BY

**PDS**  
 PROFESSIONAL DESIGN SERVICES, L.L.C.  
 CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS  
 ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES  
 1285 AIRPORT ROAD SUITE 1 LAKEWOOD, NEW JERSEY 08701  
 PHONE 732 383 0060 FAX 732 383 0073  
 NEW JERSEY STATE BOARD OF P.E. & L.S.  
 CERTIFICATE OF AUTHORIZATION NO. 24G28125400

**IAN M. BORDEN, PP**  
 N.J. PROFESSIONAL PLANNER LICENSE #38100617400

**WILLIAM A. STEVENS, PE, PP**  
 PROFESSIONAL ENGINEER NEW JERSEY LIC #29015  
 PROFESSIONAL PLANNER NEW JERSEY LIC #5384

**GRAHAM J. MACFARLANE, PE, PP, CME**  
 PROFESSIONAL ENGINEER NEW JERSEY LIC #29110  
 PROFESSIONAL PLANNER NEW JERSEY LIC #6104

**STEVEN METELSKI, JR., PLS**  
 N.J. PROFESSIONAL LAND SURVEYOR LICENSE #43893

**VARIANCE PLAN**  
 FOR  
**BLOCK 1.252-LOTS 36 & 38**

(REFERENCE TAX MAP SHEET No. 7.04)

**TOWNSHIP OF MANCHESTER**

**OCEAN COUNTY NEW JERSEY**

SCALE: 1"=10'	JOB NUMBER: 323645
DRAWN BY: MCS	DATE: 6/14/23
DESIGN/CALC'D BY: MCS	SHEET: 1
CHECKED BY: MCS	1