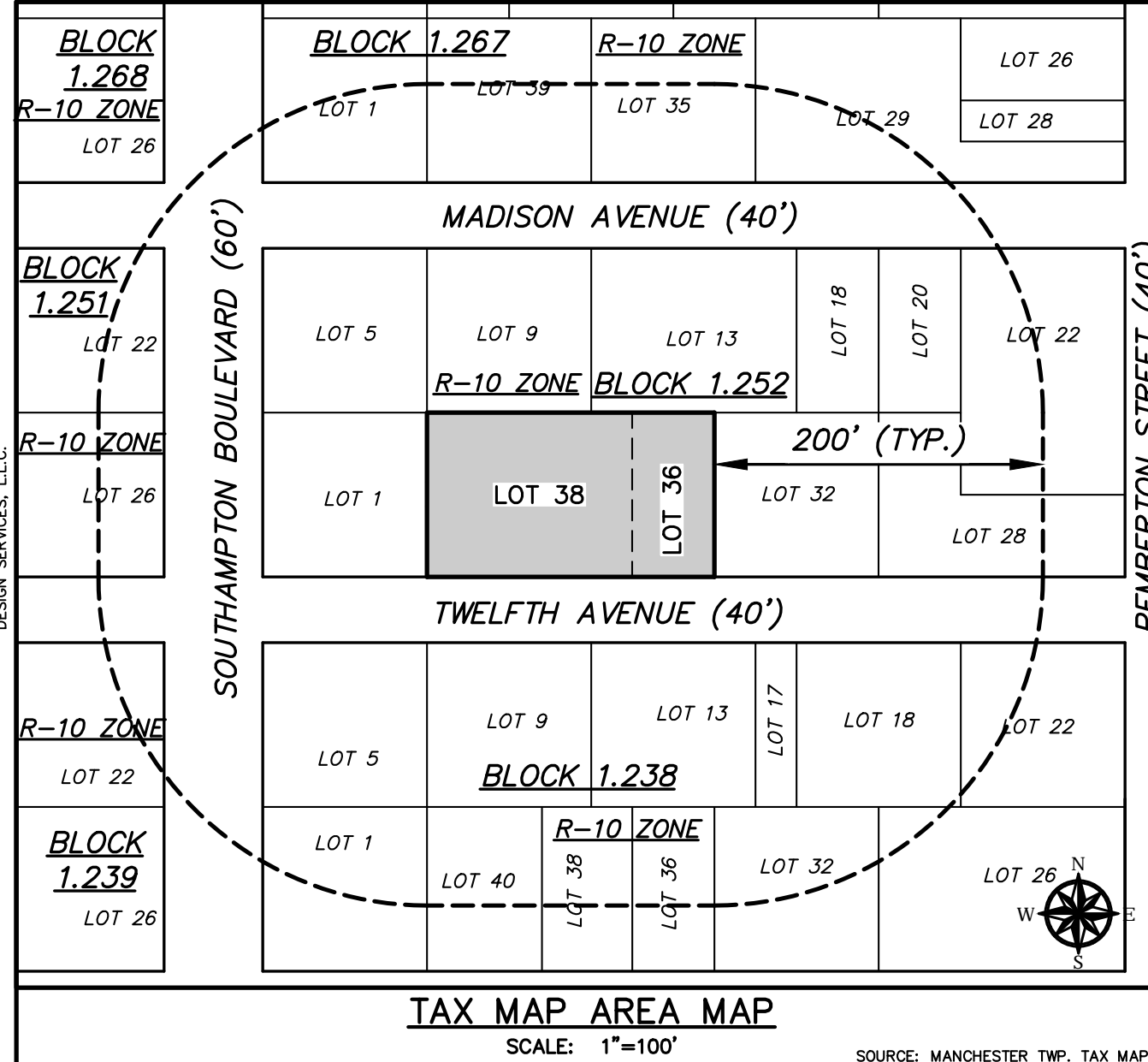


MEMBERSHIP OF DOCUMENTS... PROFESSIONAL DESIGN SERVICES, L.L.C.



TAX MAP AREA MAP
SCALE: 1"=100'

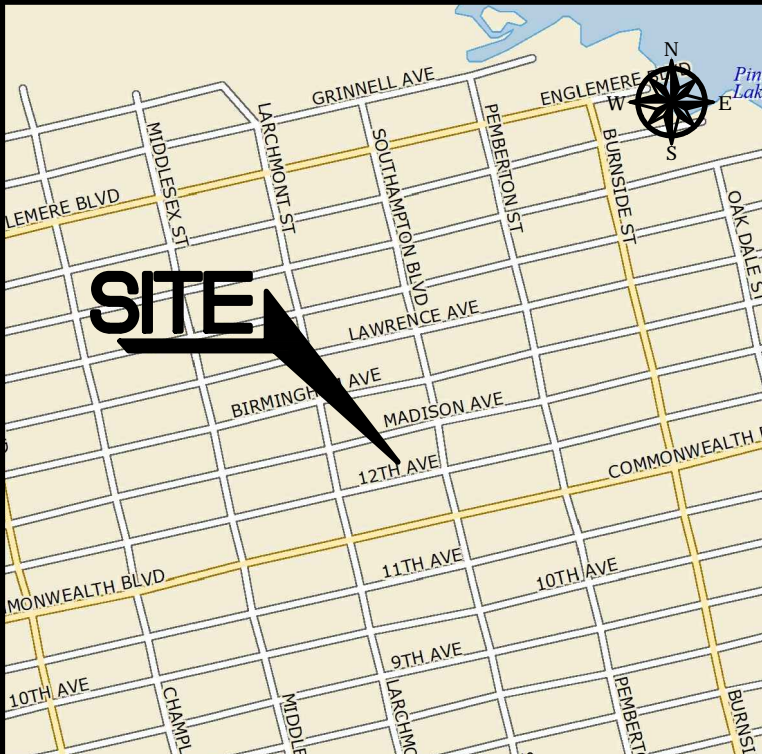
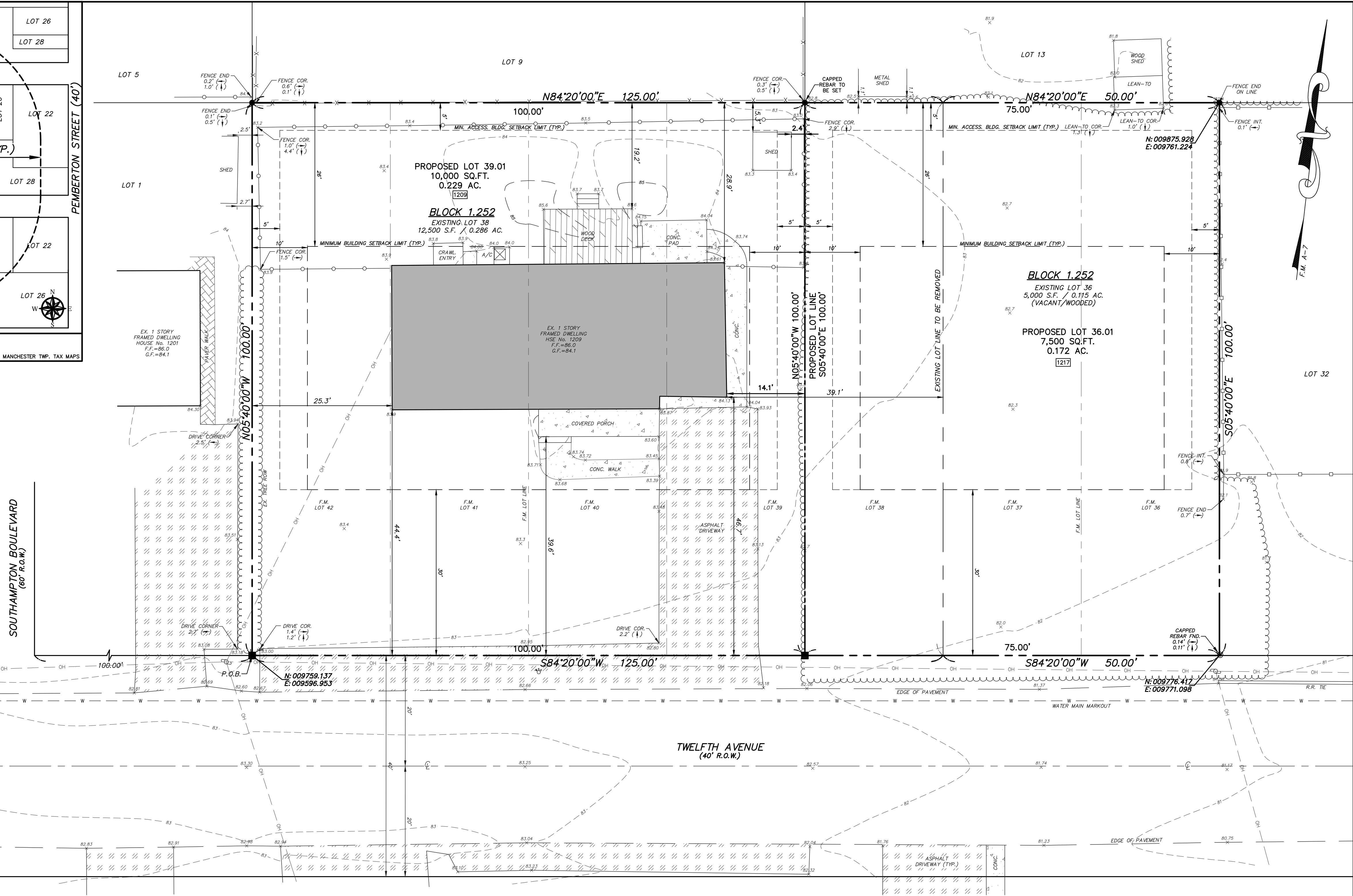
SOURCE: MANCHESTER TWP. TAX MAPS

CERTIFIED PROPERTY OWNERS LIST WITHIN 200 FEET

CERTIFIED PROPERTY OWNERS LIST FROM MANCHESTER TOWNSHIP DATED JUNE 2023

Table listing property owners with addresses and identifiers for lots within 200 feet of the site. Includes owners like COMCAST, VERIZON, and various individuals and companies.

SOUTH HAMPTON BOULEVARD (60' R.O.W.)



KEY MAP
SCALE: 1"=1,000'

LEGEND table listing symbols for existing features like edges of woods, fire hydrants, utility poles, and fences. Includes a scale bar in feet (0 to 20).

Table with columns for No., DATE, DESCRIPTION, and BY. Intended for recording changes to the plan.

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS...
IAN M. BORDEN, PP
WILLIAM A. STEVENS, PE, PP
GRAHAM J. MACFARLANE, PE, PP, CME
STEVEN METELSKI, JR., PLS

R-10 ZONE REQUIREMENTS

Table comparing required, existing, and proposed dimensions for lots 39.01 and 36.01. Columns include: MINIMUM LOT AREA, MINIMUM LOT FRONTAGE, MINIMUM LOT WIDTH, MINIMUM FRONT YARD SETBACK, MINIMUM REAR YARD SETBACK, MINIMUM SIDE YARD SETBACK, MINIMUM ACCESSORY REAR YARD SETBACK, MINIMUM ACCESSORY SIDE YARD SETBACK, MAXIMUM BUILDING COVERAGE, MAXIMUM LOT COVERAGE, MAXIMUM BUILDING HEIGHT, MINIMUM IMPROVABLE LOT AREA.

WAIVERS REQUESTED

METES AND BOUNDS DESCRIPTION SHOWING DIMENSIONS, BEARINGS OF PROPOSED AND EXISTING LOTS REQUIRED; SHOWN ON MAP; SUBDIVISION DONE BY FILED MAP. SOIL LOGS AND PERMEABILITY TESTS REQUIRED; NONE PROVIDED, NO CONSTRUCTION IS PROPOSED. STATEMENT FROM UTILITY COMPANIES AS TO SERVICEABILITY OF SITE; NONE PROVIDED. CURB ALONG PROPERTY FRONTAGE REQUIRED; NONE PROVIDED. SIDEWALK ALONG PROPERTY FRONTAGE REQUIRED; NONE PROVIDED.

GENERAL NOTES:

- 1. PROPERTY IS KNOWN AS BLOCK 1.252 LOTS 36 & 38 AS SHOWN ON THE MANCHESTER TOWNSHIP TAX MAP SHEET 7.04.
- 2. BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY OF TAX BLOCK 1.252 TAX LOTS 36 & 38, (REFERENCE TAX MAP SHEET NO. 7.04), TOWNSHIP OF MANCHESTER, OCEAN COUNTY NEW JERSEY", PREPARED BY PROFESSIONAL DESIGN SERVICES, L.L.C., DATED 4/28/23.
- 3. ALL UTILITIES TO BE INSTALLED UNDERGROUND.
- 4. SEWER SERVICE TO BE PROVIDED BY PRIVATE DISPOSAL SYSTEM.
- 5. WATER SERVICE TO BE PROVIDED BY MUNICIPAL WATER SUPPLY.
- 6. EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 7. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH APPLICABLE CODES, ORDINANCES AND MANUFACTURER'S REQUIREMENTS.
- 8. AREAS OF PROPOSED CONSTRUCTION SHALL BE CLEARED ONLY AS REQUIRED.
- 9. THE PERMEABILITY OF THE ON-SITE SOILS ARE K-4 (6-20" INCHES/HOUR) PER USDA SOILS SURVEY.
- 10. IT IS PROPOSED TO PLANT THREE (3) 4'-6" HIGH TREES ON PROPOSED LOT 36.01 TO MEET TOWNSHIP TREE ORDINANCE. TREE TYPES AND LOCATION TO BE DETERMINED IN FIELD, AND DONE PRIOR TO FINAL SURVEY.
- 11. TOPOGRAPHY IS IN NAVD 1988 DATUM.
- 12. THE PROPERTY IS LOCATED IN FLOOD ZONE X.
- 14. ALL DIMENSIONS OF THE EXTERIOR BOUNDARIES AND LOTS MEET A MINIMUM STANDARD OF 1:15,000.
- 15. COORDINATES SHOWN HEREON ARE ASSUMED.
- 16. NO BASEMENTS SHALL BE PERMITTED FOR THE FUTURE DWELLINGS UNLESS DETAILED SOIL AND WATER TABLE INFORMATION ARE PROVIDED DOCUMENTING THAT A 2 FOOT SEPARATION BETWEEN THE BASEMENT FLOOR AND S.H.W.T. CAN BE MAINTAINED.
- 17. LOT NUMBERS AND STREET ADDRESSES HAVE BEEN ASSIGNED/APPROVED BY THE TOWNSHIP TAX ASSESSOR.

THIS IS TO CERTIFY THAT THE PLANNING BOARD IS THE PROPER AUTHORITY TO APPROVE, AND HAS APPROVED THIS MAP AND THAT THIS MAP COMPLIES WITH ALL THE PROVISIONS OF R.S. 46:23-9.9 KNOWN AS "THE MAP FILING LAW" THIS MAP SHALL BE FILED IN THE OCEAN COUNTY CLERK'S OFFICE ON OR BEFORE THE DAY OF _____ 20____, WHICH DATE IS 190 DAYS FROM THE FINAL APPROVAL BY THE PLANNING BOARD.

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED APRIL 28, 2023 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

I FURTHER CERTIFY THAT THE MONUMENTS AS DESIGNATED AND SHOWN HAVE BEEN SET.

MANCHESTER TOWNSHIP PLANNING BOARD

Table for Planning Board signatures: CHAIRMAN, SECRETARY, PLANNING BOARD ENGINEER.

OWNER(LOT 38)

LORI DELLASSANDRO
1209 TWELFTH AVENUE
TOMS RIVER NJ 08757

I HEREBY CERTIFY THAT WE ARE THE RECORD HOLDERS OF TITLE TO THE LANDS DELINEATED ON THIS MAP AND APPROVE THE FILING THEREOF.

LORI DELLASSANDRO
SWORN AND SUBSCRIBED TO BEFORE ME THIS ____ DAY OF ____ 20____

OWNER(LOT 36)/APPLICANT

JEFFREY R. JERMAN
PO BOX 922
PT. PLEASANT BOROUGH NJ 08742

I HEREBY CERTIFY THAT WE ARE THE RECORD HOLDERS OF TITLE TO THE LANDS DELINEATED ON THIS MAP AND APPROVE THE FILING THEREOF.

JEFFREY R. JERMAN
SWORN AND SUBSCRIBED TO BEFORE ME THIS ____ DAY OF ____ 20____

STEVEN METELSKI, JR., PLS
MINOR SUBDIVISION FOR TAX BLOCK 1.252 TAX LOTS 36 & 38
MANCHESTER TOWNSHIP OCEAN COUNTY NEW JERSEY
SCALE: 1"=10'
JOB NUMBER: 323645
DRAWN BY: MCS DATE: 6/12/23
DESIGN/CALC'D BY: MCS SHEET: 1
CHECKED BY: SLM