

200 Foot Property Owners List
Certified by the Township of Manchester on March 2, 2018

Lot	Block	Property Owner	Address
4	109	GOLIN, LEWIS F	830 ROUTE 37 WEST MANASSAS, NJ 08755
5	109	STABLE, GARY & MELVA L	2309 CHURCH STREET TOMS RIVER, NJ 08753
14	109	US HOME CORPORATION	2465 KUBER ROAD HAMILTON, NJ 08590
8	109.01	US HOME CORPORATION	2465 KUBER ROAD HAMILTON, NJ 08590
91	109.01	US HOME CORPORATION	2465 KUBER ROAD HAMILTON, NJ 08590
92	109.01	US HOME CORPORATION	2465 KUBER ROAD HAMILTON, NJ 08590
11.07	111	CORTEZ, LUIS M & SEDA, MARIA L	1 MACKENZIE CT WHITING, NJ 08759
11.08	111	POLSKY, BRUCE D & TERRY L	150 HWY 539 WHITING, NJ 08759
11.10	111	MDR DEVELOPERS INC	519 CURTIS LN LAKEWOOD, NJ 08701
12	111	ST STEPHENS CHURCH IN WHITING	150 HWY 539 WHITING, NJ 08759

COMCAST
830 ROUTE 37 WEST
TOMS RIVER, NJ 08755

MANCHESTER TOWNSHIP
CLERK'S OFFICE
1 COLONIAL DRIVE
MANCHESTER, NJ 08759

NJ NATURAL GAS
PO BOX 1464
WALL, NJ 07719

VERIZON, ENG. DEPT
PO BOX 152206
IRVING, TX 75015

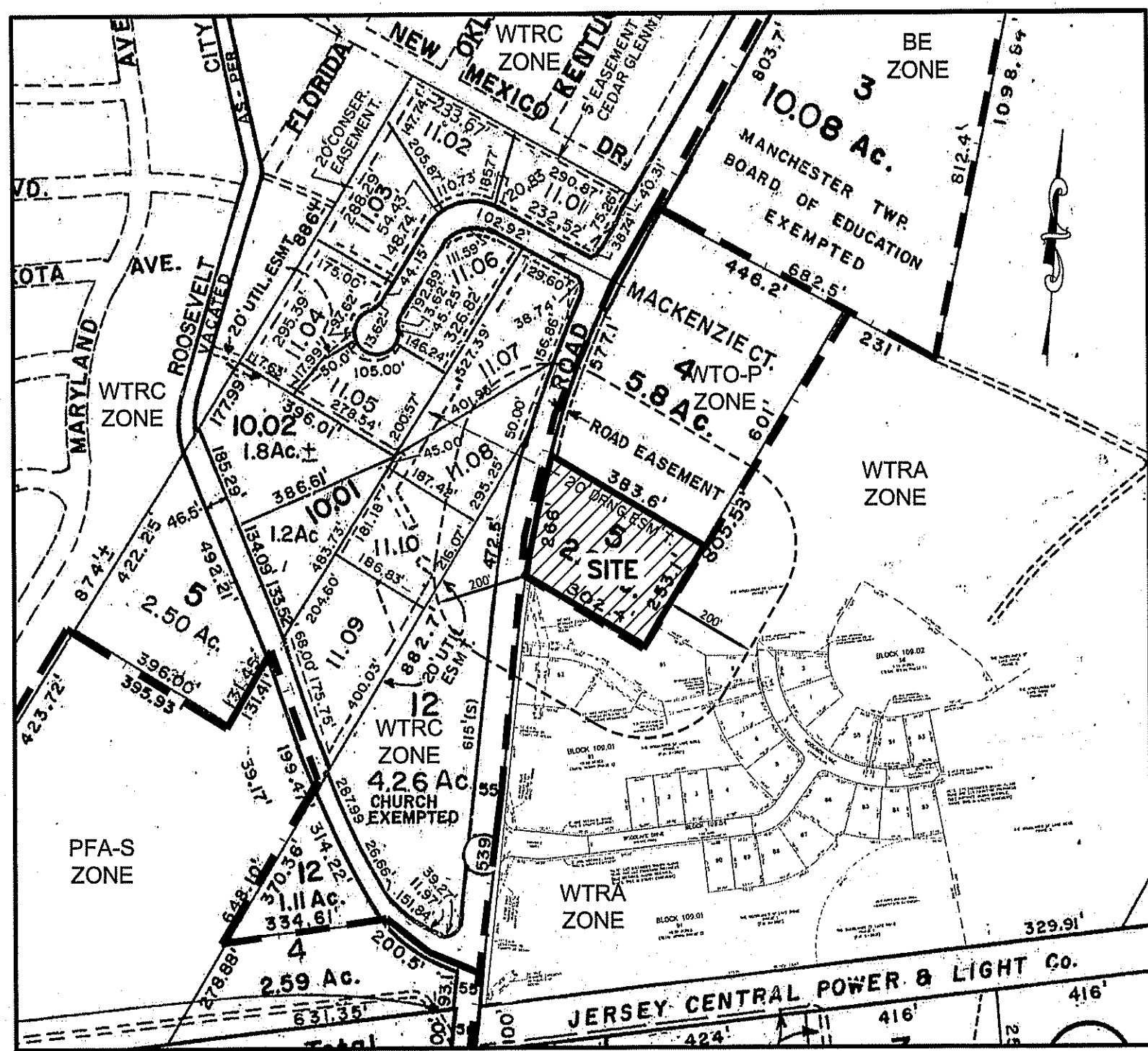
NJ DEP
CN 401
TRENTON, NJ 08625

OCEAN COUNTY MUA
PO BOX P
BAYVILLE, NJ 08721

GPU
110 LINCOLN STREET
PHILIPSBURG, NJ 08865

NJ DOT
ROUTE 70 & DANIELS WAYS
FRENCHTOWN, NJ 07728

OCEAN COUNTY ROAD DEPT
119 HOOPER AVENUE
TOMS RIVER, NJ 08753



LOCATION MAP
SCALE: 1"=300'

WHITING TOWN OFFICE PROFESSIONAL (WTO-P) ZONE REQUIREMENTS:

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	87,520 S.F.	85,391 S.F. ¹
MINIMUM LOT FRONTAGE	200 FT.	266 FT.	266 FT.
MINIMUM LOT WIDTH	200 FT.	253.14 FT.	253.14 FT.
IMPROVABLE LOT AREA	18,750 S.F.	37,370 S.F.	36,080 S.F.
MINIMUM FRONT SETBACK	50 FT.	N/A	58.6 FT. (BEFORE DEDICATION) 50.6 FT. (AFTER DEDICATION)
MINIMUM REAR SETBACK	50 FT.	N/A	82 FT.
MINIMUM SIDE SETBACK	50 FT.	N/A	71 FT.
MAXIMUM SITE IMPROVEMENT RATIO	0.20	N/A	0.136
MAXIMUM BUILDING COVERAGE	20%	N/A	15.5% ¹
MAXIMUM IMPERVIOUS COVERAGE	65%	N/A	59.1% ¹
MAXIMUM BUILDING HEIGHT	40 FT.	N/A	27.5 FT.
MINIMUM FLOOR AREA	2,000 S.F.	N/A	13,200 S.F.

** DENOTES VARIANCE REQUIRED
¹ AFTER DEDICATION

COVERAGE CALCULATIONS:

USABLE BUILDING AREA	13,200 S.F.
IMPROVABLE LOT AREA	36,080 S.F.
MINIMUM YARD AREA	60,812 S.F.
SITE IMPROVEMENT RATIO	0.136
USABLE BLDG AREA DIVIDED BY THE SUM IMPROVABLE LOT AREA & MINIMUM YARD AREA	13,200/(36,080+60,812)
	13,200/96,892 = 0.136
IMPERVIOUS CALCULATIONS	
BUILDING	13,200 S.F.
DRIVE AISLES/PARKING (INCL CURB)	34,390 S.F.
CONCRETE WALK	1,129 S.F.
CONCRETE APRON	1,200 S.F.
CONCRETE DUMPSTER PAD/APRON	520 S.F.
TOTAL IMPERVIOUS	50,439 S.F.

PARKING REQUIREMENTS:

INDUSTRIAL OR MANUFACTURING;
ONE SPACE PER 1.5 EMPLOYEE

REQUIRED: 65 EMPLOYEES / 1.5 = 43
43 SPACES REQUIRED

PROPOSED: 43 SPACES
(MAXIMUM 65 EMPLOYEES)

VARIANCES REQUESTED:

SECTION 245-33 A. - USE VARIANCE REQUIRED AS GENERAL WAREHOUSING AND STORAGE NOT PERMITTED IN WTO-P ZONE.

SECTION 245-28 D. (2) - MINIMUM FRONT YARD SETBACK FOR PARKING FACILITIES REQUIRED IS 20' WHEREAS 8.8' IS PROPOSED.

SECTION 245-28 D. (2) - MINIMUM SIDE YARD SETBACK FOR PARKING FACILITIES REQUIRED IS 12.5' WHEREAS 5' IS PROPOSED.

SECTION 245-28 E. - ONE 12' X 35' LOADING SPACE IS REQUIRED, WHEREAS NONE IS PROVIDED.

APPROVED BY MANCHESTER DEPARTMENT OF UTILITIES ON _____

ENGINEER _____ DATE _____

MANCHESTER TOWNSHIP DEPARTMENT OF UTILITIES # _____

PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

141 OFFICE PARK

LOT 5 BLOCK 109

TOWNSHIP OF MANCHESTER, OCEAN COUNTY, NJ

SHEET INDEX			
SHEET NO.	DESCRIPTION	LAST REVISION	REV.#
1	COVER SHEET & GENERAL NOTES	1/20/21	6
2	EXISTING CONDITIONS PLAN	9/27/19	2
3	SITE PLAN	1/20/21	4
4	GRADING & UTILITIES PLAN	1/20/21	5
5	SITE LINE & STORM PROFILES	1/20/21	5
6	COUNTY 539 PROFILE	12/04/19	4
7	COUNTY 539 SECTIONS	9/27/19	1
8	LANDSCAPE & LIGHTING PLAN	1/20/21	5
9	SOIL EROSION & SEDIMENT CONTROL PLAN	1/20/21	5
10	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	9/27/19	2
11	CONSTRUCTION DETAILS	9/27/19	3
12	CONSTRUCTION DETAILS	1/20/21	4

STATUS OF AGENCY APPROVALS:

OCEAN COUNTY PLANNING BOARD
OCEAN COUNTY SOIL CONSERVATION DISTRICT
NEW JERSEY PINELANDS COMMISSION
MANCHESTER DEPARTMENT OF UTILITIES

APPROVED 10/16/2019
APPROVED 8/5/2019
CERTIFICATE OF FILING 8/20/2019
PENDING

IT IS HEREBY CERTIFIED THAT WE ARE THE RECORD HOLDERS OF THESE FOR LOT 5, BLOCK 109, MANCHESTER TOWNSHIP, NEW JERSEY. WE FURTHER CERTIFY THAT WE HAVE NO INTEREST, NOR OWN, NOR HAVE CONTRACTED TO PURCHASE, UNLESS OTHERWISE NOTED. WE ALSO CERTIFY THAT WE ARE THE APPLICANTS AND DO CONSENT TO THE PROPOSED SITE PLAN AS SHOWN HEREON.

ANTHONY TRAND OF 141 OFFICE PARK, LLC. 1/23/20
DATE

SWORN AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF January 2020. MARYANNE O DEFRANCO, Notary Public for New Jersey, My Commission Expires 06/09/2022.

GENERAL NOTES:

- PROPERTY BEING KNOWN AND DESIGNATED AS A PORTION OF LOT 9 IN BLOCK W-1 AS SHOWN ON A MAP ENTITLED "SUBDIVISION OF LOT 9, BLOCK W-1, TAX MAP SHEET 16, MANCHESTER TOWNSHIP, OCEAN COUNTY, N.J." FILED IN THE OFFICE OF THE OCEAN COUNTY CLERK ON MARCH 31, 1971 AS MAP 1-512. ALSO BEING KNOWN AS LOT 5 IN BLOCK 109 ON THE OFFICIAL TAX MAP SHEET 16 OF TOWNSHIP OF MANCHESTER, OCEAN COUNTY, NEW JERSEY.
- SURVEY AND TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED "OUTBOUND & TOPOGRAPHIC SURVEY, LOT 5, BLOCK 109, TOWNSHIP OF MANCHESTER, OCEAN COUNTY, NEW JERSEY" PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., WILLIAM H. DOOLITTLE, PLS#24G503624000, DATED 3/10/2018. ERROR OF CLOSURE MEETS OR EXCEEDS 1:10,000. ELEVATIONS BASED ON NAVD 88 DATUM UTILIZING GPS RTK OBSERVATIONS.
- THE TOTAL TRACT AREA IS 87,520 SQUARE FEET (2.009 ACRES).
- PROPERTY LOCATED IN FLOOD ZONE X, COMMUNITY NUMBER 340382, MAP NUMBER 34026C0260F, EFFECTIVE DATE SEPTEMBER 29, 2006.
- OWNER/APPLICANT: 141 OFFICE PARK, LLC
128 BERGER STREET
WOOD-RIDGE, NJ 07075
201-807-9797
- THE PROPERTY IS LOCATED AT 141 COUNTY ROUTE 539 IN THE WTO-P ZONE. THE APPLICANT SEEKS A USE VARIANCE TO PERMIT CONSTRUCTION OF A 10 UNIT WAREHOUSE BUILDING.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL, AND SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVALS HAVE BEEN SATISFIED ON THE DRAWINGS. THIS PLAN IS FOR SITE PLAN PURPOSES ONLY AND DOES NOT CONSTITUTE A SURVEY DRAWING.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL UTILITIES ALONG THE LINE OF THE PROPOSED WORK A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOT PROCEED WITH WORK IN STREETS WHERE UTILITIES HAVE NOT BEEN LOCATED OR MARKED BY UTILITY COMPANIES.
- ALL CURBS SHALL BE DEPRESSED WHERE SIDEWALKS AND CROSSWALKS INTERSECT AND WHERE HANDICAP RAMPS ARE INSTALLED.
- ALL TRAFFIC SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL FIRE LANES, ZONES, SIGNAGE AND STRIPING SHALL BE INSTALLED BY THE DEVELOPER AT THE REQUEST OF THE BUREAU OF FIRE SAFETY IN ACCORDANCE WITH THE TOWNSHIP ORDINANCE, CHAPTER 191.
- ADJACENT FEATURES SHALL NOT BE SCALED AS THEY MAY BE SCHEMATIC, EXCEPT WHERE DIMENSIONS MAY BE SHOWN.
- CONSTRUCTION DETAILS ARE INTENDED TO CONFORM TO TOWNSHIP REQUIREMENTS. IN THE EVENT OF DISCREPANCY, THE TOWNSHIP STANDARDS SHALL GOVERN.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2019, AS SUPPLEMENTED.
 - CURRENT, PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
 - CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- ALL SUBGRADE SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO THE INSTALLATION OF IMPROVEMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTORS OPINION WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- ANY UTILITY POLE RELOCATIONS WITHIN THE LIMITS OF THE PROPOSED ROAD WIDENING ON THE COUNTY ROAD ARE TO BE COMPLETED PRIOR TO THE ISSUANCE OF THE ROAD OPENING PERMIT FROM THE OCEAN COUNTY ENGINEER'S OFFICE.
- THE DEVELOPER IS REQUIRED TO OBTAIN A PERMIT FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS OR SOIL EROSION CONTROL MEASURES WITHIN THE COUNTY RIGHT-OF-WAY.
- THE DEVELOPER SHALL OBTAIN A LETTER OF FINAL ACCEPTANCE FROM THE OCEAN COUNTY ENGINEER FOR THE ROAD IMPROVEMENTS PRIOR TO THE ISSUANCE OF A TCO/CO FROM THE MUNICIPALITY AND RELEASE OF ANY BOND OR ANY OTHER FINANCIAL SURETY POSTED WITH THE MUNICIPALITY FOR THE COMPLETION OF SAID IMPROVEMENT.
- ALIGNMENT AND GRADE FOR CURB AND ROAD IMPROVEMENTS ALONG THE COUNTY ROAD SHALL BE ESTABLISHED BY THE DEVELOPER'S ENGINEER AS APPROVED BY THE OCEAN COUNTY ENGINEER. STAKEOUT OF ALL CURB AND ROAD IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE EXECUTED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR. CURB AS-BUILTS SHALL BE SUBMITTED TO THE OCEAN COUNTY ENGINEER PRIOR TO ANY PAVING OPERATIONS. FINAL AS-BUILT INFORMATION SHALL BE SUPPLIED ON A REPRODUCIBLE MEDIUM, WILL INCLUDE TOP AND BOTTOM OF CURB, CENTERLINE AND QUARTER CROWN GRADES. MONUMENTS WHERE APPLICABLE SHALL BE SIGNED AND SEALED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR AND ACCOMPANIED BY A MONUMENT CERTIFICATION WHERE APPLICABLE.
- COUNTY ROAD IMPROVEMENTS MUST HAVE BASE PAVEMENT COURSE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCIES.
- ALL SITE LIGHTING SHALL BE TURNED OFF ONE HOUR AFTER CLOSE OF BUSINESS WITH THE EXCEPTION OF SECURITY LIGHTING.
- REMOVAL OF EXISTING TREES SHALL OCCUR IN ACCORDANCE WITH CHAPTER 403 OF THE MUNICIPAL LAND USE REGULATIONS.
- THESE GENERAL NOTES APPLY TO ALL SHEETS IN THE SET.

APPROVED BY MANCHESTER TOWNSHIP ZONING BOARD OF ADJUSTMENT ON _____ BY RESOLUTION _____

BOARD CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

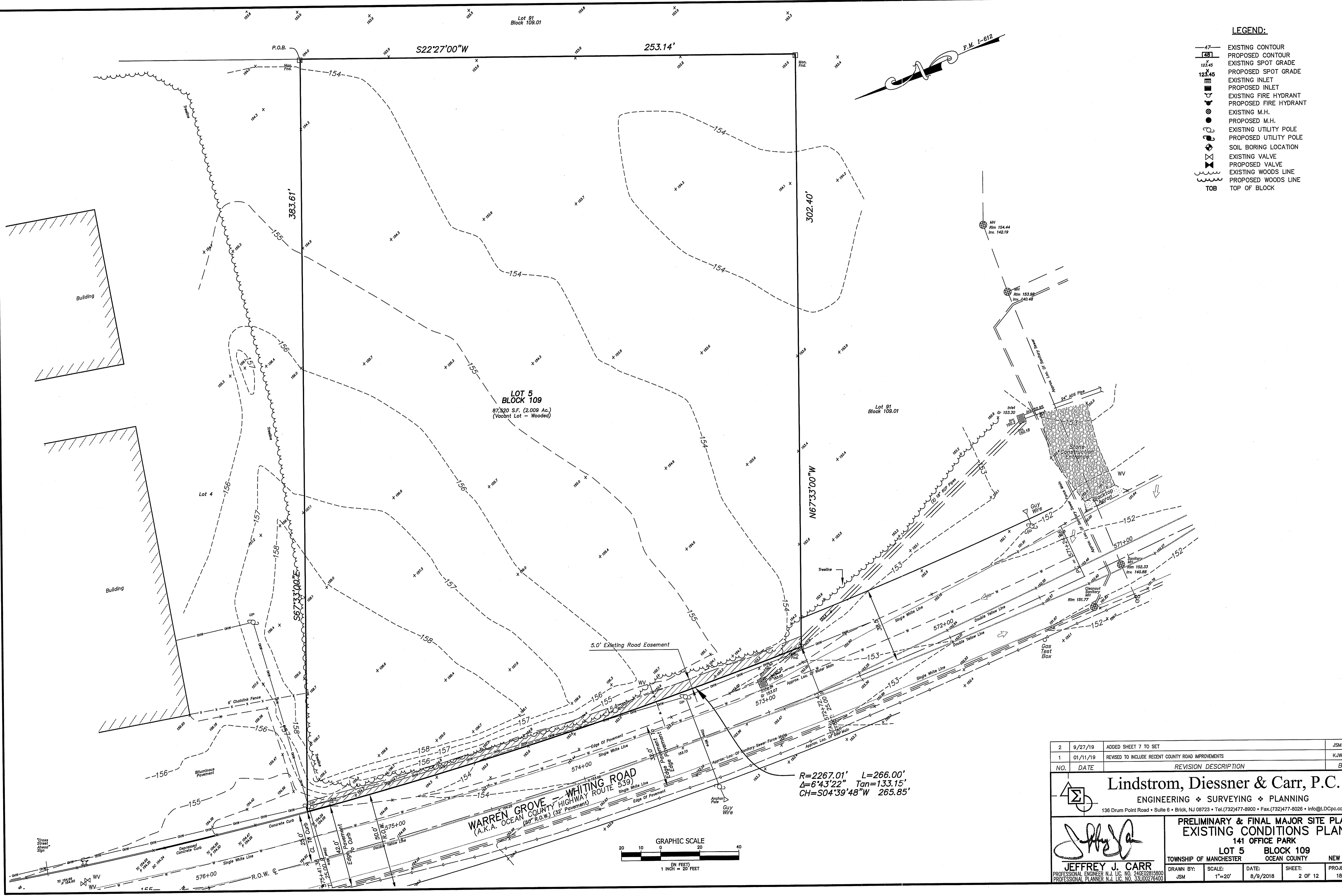
NO.	DATE	REVISION DESCRIPTION	BY
6	1/20/21	REVISED LAYOUT	JSM
5	1/22/2020	UPDATED PROPERTY OWNERSHIP	JGK
4	12/04/19	REVISED PER OCEAN COUNTY PLANNING BOARD LETTER DATED 10/16/19	JSM
3	9/27/19	REVISED PER OCEAN COUNTY ENGINEERING LETTER DATED 8/7/2019 & ADDED SHEET 7 TO SET	JSM
2	6/26/19	REVISED PER PINELANDS COMMISSION LETTER 2/15/19, SCD LETTER 2/14/19 AND OCPB LETTER 2/20/19	KJW
1	01/11/19	REVISED PER PINELANDS COMMISSION LETTER 9/13/18, SCD LETTER 10/2/18 AND OCPB LETTER 9/19/18	KJW

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732)477-8900 • Fax. (732)477-8026 • Info@LDcpc.com

PRELIMINARY & FINAL MAJOR SITE PLAN COVER SHEET & GENERAL NOTES
141 OFFICE PARK
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 240200315900
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY: JSM SCALE: AS NOTED DATE: 8/9/2018 SHEET: 1 OF 12 PROJECT: 18021



LEGEND:

- - - EXISTING CONTOUR
- [---] PROPOSED CONTOUR
- 123.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- ⊕ EXISTING UTILITY POLE
- ⊕ PROPOSED UTILITY POLE
- ⊕ SOIL BORING LOCATION
- ⊕ EXISTING VALVE
- ⊕ PROPOSED VALVE
- ~ EXISTING WOODS LINE
- ~ PROPOSED WOODS LINE
- TOB TOP OF BLOCK

2	9/27/19	ADDED SHEET 7 TO SET	JSM
1	01/11/19	REVISED TO INCLUDE RECENT COUNTY ROAD IMPROVEMENTS	KJW
NO.	DATE	REVISION DESCRIPTION	BY

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
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**PRELIMINARY & FINAL MAJOR SITE PLAN
EXISTING CONDITIONS PLAN
141 OFFICE PARK**

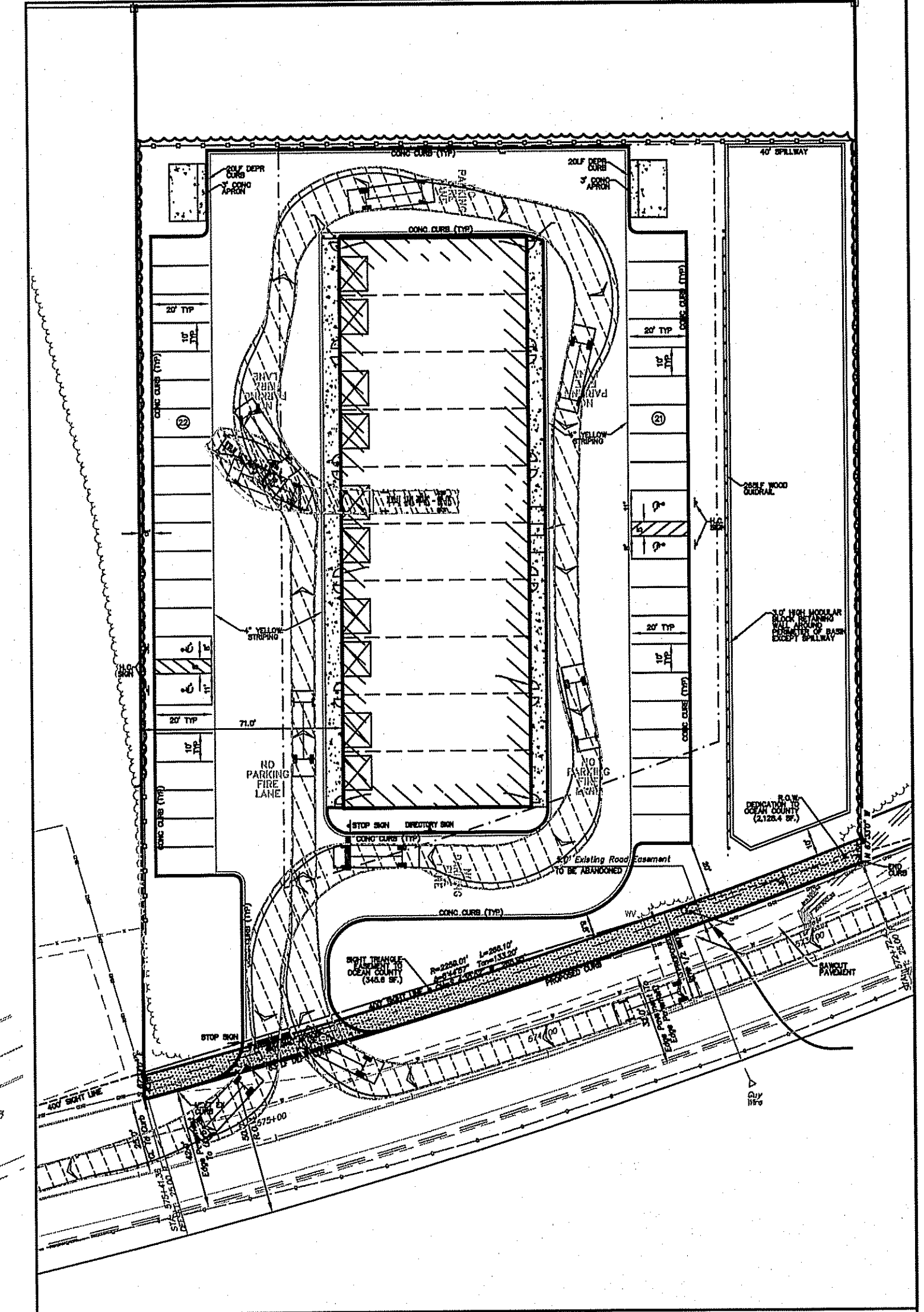
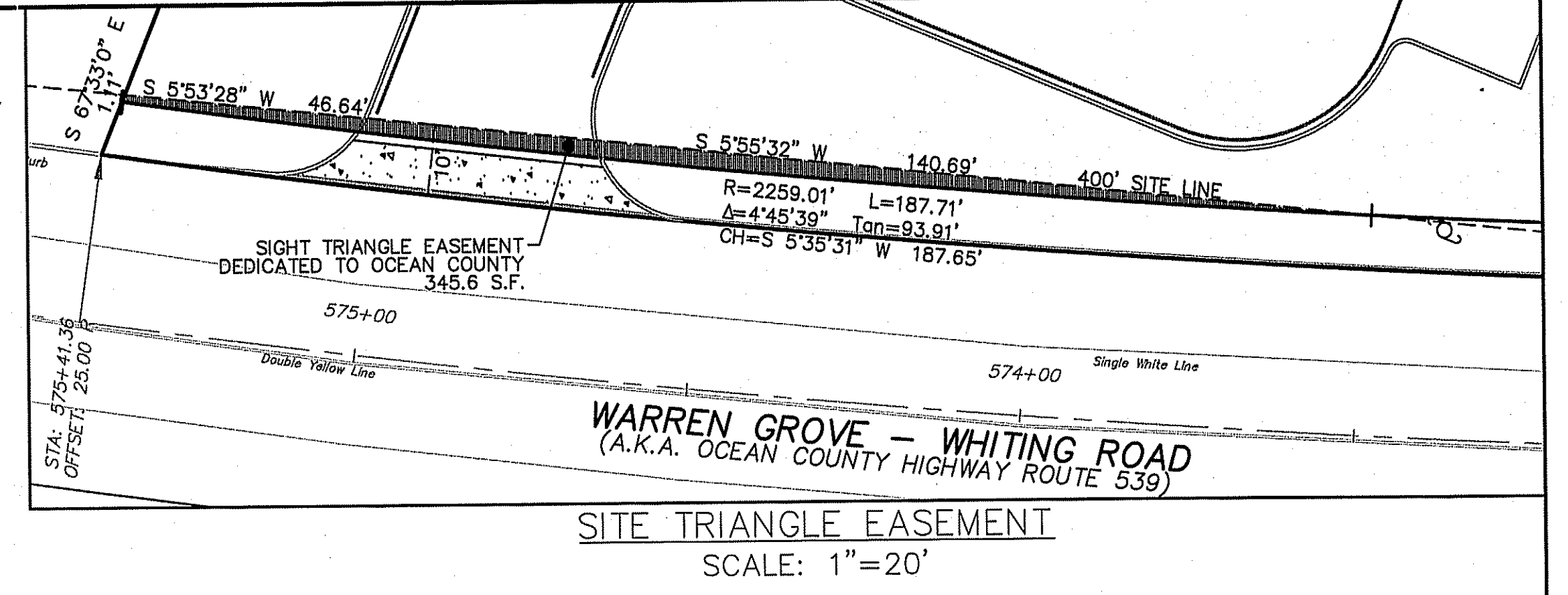
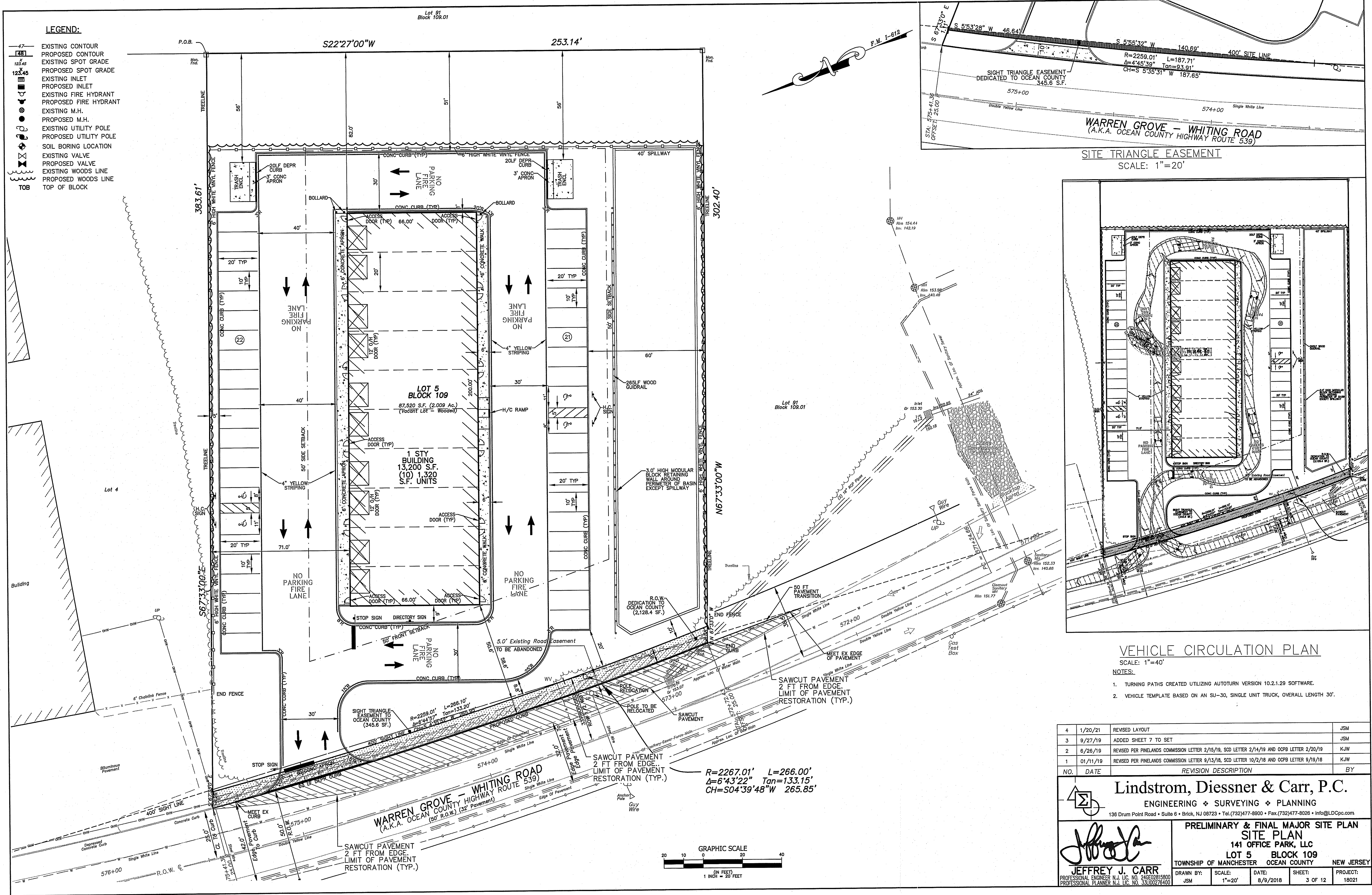
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602015900
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY: JSM	SCALE: 1"=20'	DATE: 8/9/2018	SHEET: 2 OF 12	PROJECT: 18021
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LEGEND:

- 47— EXISTING CONTOUR
- 128— PROPOSED CONTOUR
- 128.45— EXISTING SPOT GRADE
- 128.45— PROPOSED SPOT GRADE
- 128.45— EXISTING INLET
- 128.45— PROPOSED INLET
- 128.45— EXISTING FIRE HYDRANT
- 128.45— PROPOSED FIRE HYDRANT
- 128.45— EXISTING M.H.
- 128.45— PROPOSED M.H.
- 128.45— EXISTING UTILITY POLE
- 128.45— PROPOSED UTILITY POLE
- 128.45— SOIL BORING LOCATION
- 128.45— EXISTING VALVE
- 128.45— PROPOSED VALVE
- 128.45— EXISTING WOODS LINE
- 128.45— PROPOSED WOODS LINE
- 128.45— TOP OF BLOCK



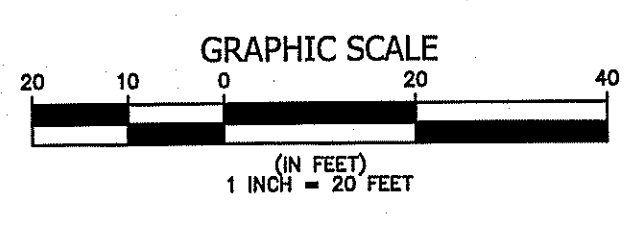
NO.	DATE	REVISION DESCRIPTION	BY
4	1/20/21	REVISED LAYOUT	JSM
3	9/27/19	ADDED SHEET 7 TO SET	JSM
2	6/26/19	REVISED PER PINELANDS COMMISSION LETTER 2/15/19, SCD LETTER 2/14/19 AND OCPB LETTER 2/20/19	KJW
1	01/11/19	REVISED PER PINELANDS COMMISSION LETTER 9/13/18, SCD LETTER 10/2/18 AND OCPB LETTER 9/19/18	KJW

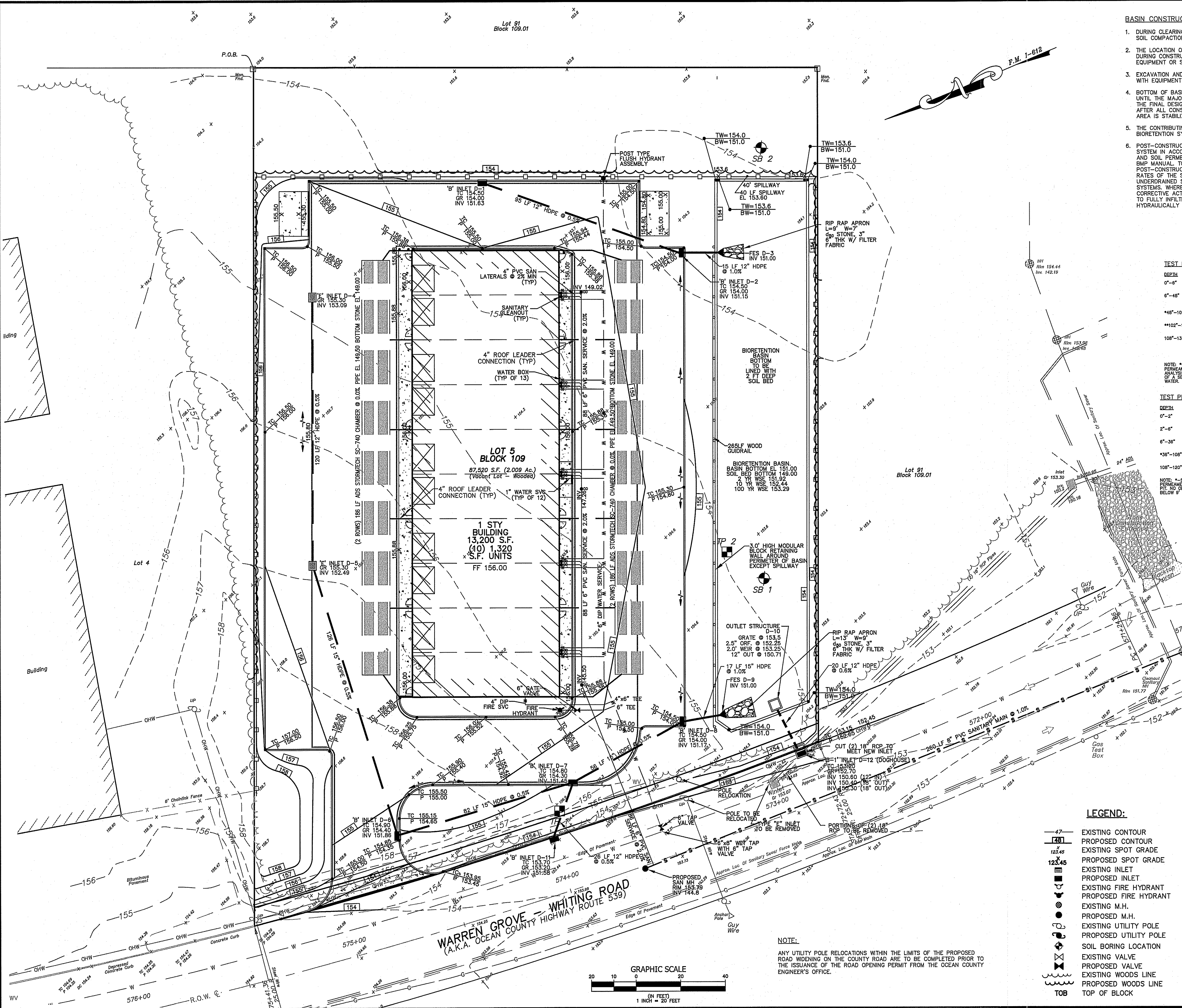
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PRELIMINARY & FINAL MAJOR SITE PLAN
SITE PLAN
141 OFFICE PARK, LLC
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602815800
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY: JSM
SCALE: 1"=20'
DATE: 8/9/2018
SHEET: 3 OF 12
PROJECT: 18021





- BASIN CONSTRUCTION NOTES:**
- DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF THE PROPOSED BIORETENTION SYSTEM.
 - THE LOCATION OF THE PROPOSED BIORETENTION SYSTEM MUST ALSO BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.
 - EXCAVATION AND CONSTRUCTION OF THE BIORETENTION SYSTEM MUST BE PERFORMED WITH EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
 - BOTTOM OF BASIN SHALL NOT BE FULLY EXCAVATED FOR THE BOTTOM 2 FEET OF SOIL UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED. THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE BIORETENTION SYSTEM BOTTOM MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED.
 - THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO BIORETENTION SYSTEM USE.
 - POST-CONSTRUCTION TESTING MUST BE PERFORMED ON THE AS-BUILT BIORETENTION SYSTEM IN ACCORDANCE WITH THE CONSTRUCTION AND POST-CONSTRUCTION OVERTSIGHT AND SOIL PERMEABILITY TESTING SECTION IN APPENDIX E1. SOIL TESTING CRITERIA OF THE BMP MANUAL, TO ENSURE THAT THE AS-BUILT SYSTEM FUNCTIONS AS DESIGNED. POST-CONSTRUCTION TESTING MUST INCLUDE A DETERMINATION OF THE PERMEABILITY RATES OF THE SOIL BED AND THE HYDRAULIC CAPACITY OF THE UNDERDRAIN, IN UNDERDRAIN SYSTEMS, OR THE PERMEABILITY OF THE SUBSOIL, IN INFILTRATION SYSTEMS. WHERE AS-BUILT TESTING RESULTS IN LONGER DRAIN TIMES THAN DESIGNED, CORRECTIVE ACTION MUST BE TAKEN. THE DRAIN TIME IS DEFINED AS THE TIME IT TAKES TO FULLY INFILTRATE THE MAXIMUM DESIGN STORM RUNOFF VOLUME THROUGH THE MOST HYDRAULICALLY RESTRICTIVE LAYER.

TEST PIT 1 (EL 156.2)

DEPTH	COLOR/MANSELL	SOIL
0'-0"	GRAY	TOPSOIL, MIXED SANDS, SINGLE GRAIN, LOOSE.
0'-6"	YELLOWISH BROWN (10 YR 5/1)	SANDY LOAM, SINGLE GRAIN, LOOSE, WITH QUARTZ PEBBLES (2"), 20% OF MATRIX.
6'-10"	YELLOWISH BROWN (10 YR 5/8)	LOAMY SAND, SINGLE GRAIN, LOOSE.
*102"-108"	YELLOWISH BROWN (10 YR 5/8)	SANDY CLAY, SINGLE GRAIN, SLIGHTLY HARD.
108"-138"	YELLOWISH BROWN (10 YR 5/8)	COARSE SAND WITH SOME SILT, SINGLE GRAIN, LOOSE, WITH INTERMITTENT STRONG BROWN (7.5 YR 5/8) VARIATED SILTY SANDS (NOT MOTTLES).

NOTE: *SOIL SAMPLE COLLECTED AT 60" BELOW GRADE FOR UNDISTURBED TUBE PERMEABILITY TEST. **SOIL SAMPLE COLLECTED AT 102" FOR SOIL CLASS RATING ANALYSIS TO BE PROVIDED BY THE SOIL TESTING LABORATORY. NO OBSERVATION OF SEASONAL HIGH WATER TABLE WITHIN TEST PIT. NO OBSERVATION OF GROUND WATER.

TEST PIT 2 (EL 153.9)

DEPTH	COLOR/MANSELL	SOIL
0'-2"	VERY DARK GRAY (10 YR 3/1)	TOPSOIL, MIXED SANDS, SINGLE GRAIN, LOOSE.
2'-8"	GRAY (10 YR 5/1)	SAND, SINGLE GRAIN, LOOSE.
6'-38"	YELLOWISH BROWN (10 YR 5/8)	SANDY LOAM, SINGLE GRAIN, LOOSE.
*38"-108"	YELLOWISH BROWN (10 YR 5/8)	SAND, SINGLE GRAIN, LOOSE.
108"-120"	STRONG BROWN (7.5 YR 5/8)	MEDIUM-COARSE SAND, SINGLE GRAIN, LOOSE.

NOTE: *SOIL SAMPLE COLLECTED AT 72" BELOW GRADE FOR UNDISTURBED TUBE PERMEABILITY TEST. NO OBSERVATION OF SEASONAL HIGH WATER TABLE WITHIN TEST PIT. NO OBSERVATION OF GROUND WATER. TEST PIT CONTINUOUSLY COLLAPSED BELOW 6" BELOW GRADE.

Soil Boring No. 1
Lot 5 Block 109
Township of Manchester, NJ
Date Performed 07.07.2018

DEPTH	DESCRIPTION
From: To	
0' - 1.0'	LOAMY SAND, BROWN TO YR 5/3 SINGLE GRAIN STRUCTURE. TRACE ROOTS, NO STONE, MOST.
1.0' - 1.5'	MEDIUM SAND, DARK YELLOWISH BROWN TO YR 4/8 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.
1.5' - 2.0'	MEDIUM SAND, BROWNISH YELLOW TO YR 6/8 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.
2.0' - 2.5'	MEDIUM TO COARSE SAND, STRONG BROWN 7.5 YR 5/8, NO ROOTS, TRACE STONE, MOST.
2.5' - 3.0'	MEDIUM TO COARSE SAND, YELLOWISH BROWN TO YR 5/8 SINGLE GRAIN STRUCTURE. NO ROOTS, TRACE GRANULES, MOST.
3.0' - 3.5'	LOAMY SAND, YELLOWISH BROWN TO YR 5/8 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.
3.5' - 4.0'	MEDIUM SAND, YELLOWISH BROWN TO YR 5/8 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.

NO WATER ENCOUNTERED
SHWT @ 7'
SOIL PERMEABILITY RATINGS 24" PER HOUR

Soil Log
Soil Boring No. 2
Lot 5 Block 109
Township of Manchester, NJ
Date Performed 07.07.2018

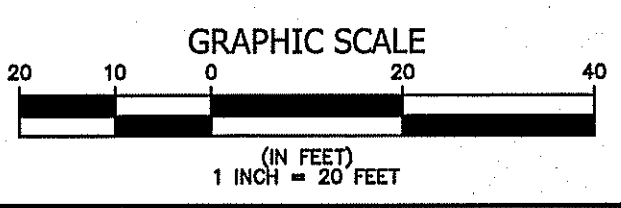
DEPTH	DESCRIPTION
From: To	
0' - 1.0'	LOAMY SAND, VERY DARK GRAYISH BROWN TO YR 3/2 SINGLE GRAIN STRUCTURE. TRACE ROOTS, NO STONE, MOST.
1.0' - 1.5'	FINE SAND, YELLOWISH BROWN TO YR 6/8 SINGLE GRAIN STRUCTURE. TRACE ROOTS, NO STONE, MOST.
1.5' - 2.0'	MEDIUM TO FINE SAND, LIGHT YELLOWISH BROWN TO YR 6/4 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.
2.0' - 2.5'	LOAMY SAND, YELLOWISH BROWN TO YR 6/8 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.
2.5' - 3.0'	MEDIUM TO FINE SAND, YELLOWISH BROWN TO YR 6/8 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.
3.0' - 3.5'	MEDIUM TO FINE SAND, LIGHT YELLOWISH BROWN TO YR 6/4 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOST.

NO WATER ENCOUNTERED
SHWT @ 7'
SOIL PERMEABILITY RATINGS 24" PER HOUR

LEGEND:

- 47' — EXISTING CONTOUR
- 48' — PROPOSED CONTOUR
- 123.45 — EXISTING SPOT GRADE
- 123.45 — PROPOSED SPOT GRADE
- INLET — EXISTING INLET
- INLET — PROPOSED INLET
- FIRE HYDRANT — EXISTING FIRE HYDRANT
- FIRE HYDRANT — PROPOSED FIRE HYDRANT
- M.H. — EXISTING M.H.
- M.H. — PROPOSED M.H.
- UTILITY POLE — EXISTING UTILITY POLE
- UTILITY POLE — PROPOSED UTILITY POLE
- SOIL BORING LOCATION — SOIL BORING LOCATION
- VALVE — EXISTING VALVE
- VALVE — PROPOSED VALVE
- WOODS LINE — EXISTING WOODS LINE
- WOODS LINE — PROPOSED WOODS LINE
- TOB — TOP OF BLOCK

NOTE:
ANY UTILITY POLE RELOCATIONS WITHIN THE LIMITS OF THE PROPOSED ROAD WIDENING ON THE COUNTY ROAD ARE TO BE COMPLETED PRIOR TO THE ISSUANCE OF THE ROAD OPENING PERMIT FROM THE OCEAN COUNTY ENGINEER'S OFFICE.



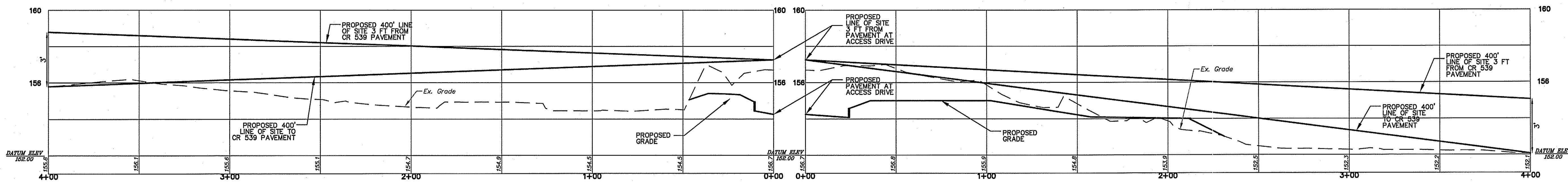
NO.	DATE	REVISION DESCRIPTION	BY
5	1/20/21	REVISED LAYOUT	JSM
4	12/04/19	REVISED PER OCEAN COUNTY PLANNING BOARD LETTER DATED 10/16/19	JSM
3	9/27/19	REVISED PER OCEAN COUNTY ENGINEERING LETTER DATED 8/7/2019 & ADDED SHEET 7 TO SET	JSM
2	6/26/19	REVISED PER PINELANDS COMMISSION LETTER 2/15/19, SCD LETTER 2/14/19 AND OCPB LETTER 2/20/19	KJW
1	01/11/19	REVISED PER PINELANDS COMMISSION LETTER 9/13/18, SCD LETTER 10/2/18 AND OCPB LETTER 9/19/18	KJW

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel: (732)477-8900 • Fax: (732)477-8026 • Info@LDCpc.com

PRELIMINARY & FINAL MAJOR SITE PLAN GRADING & UTILITIES PLAN
141 OFFICE PARK, LLC
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

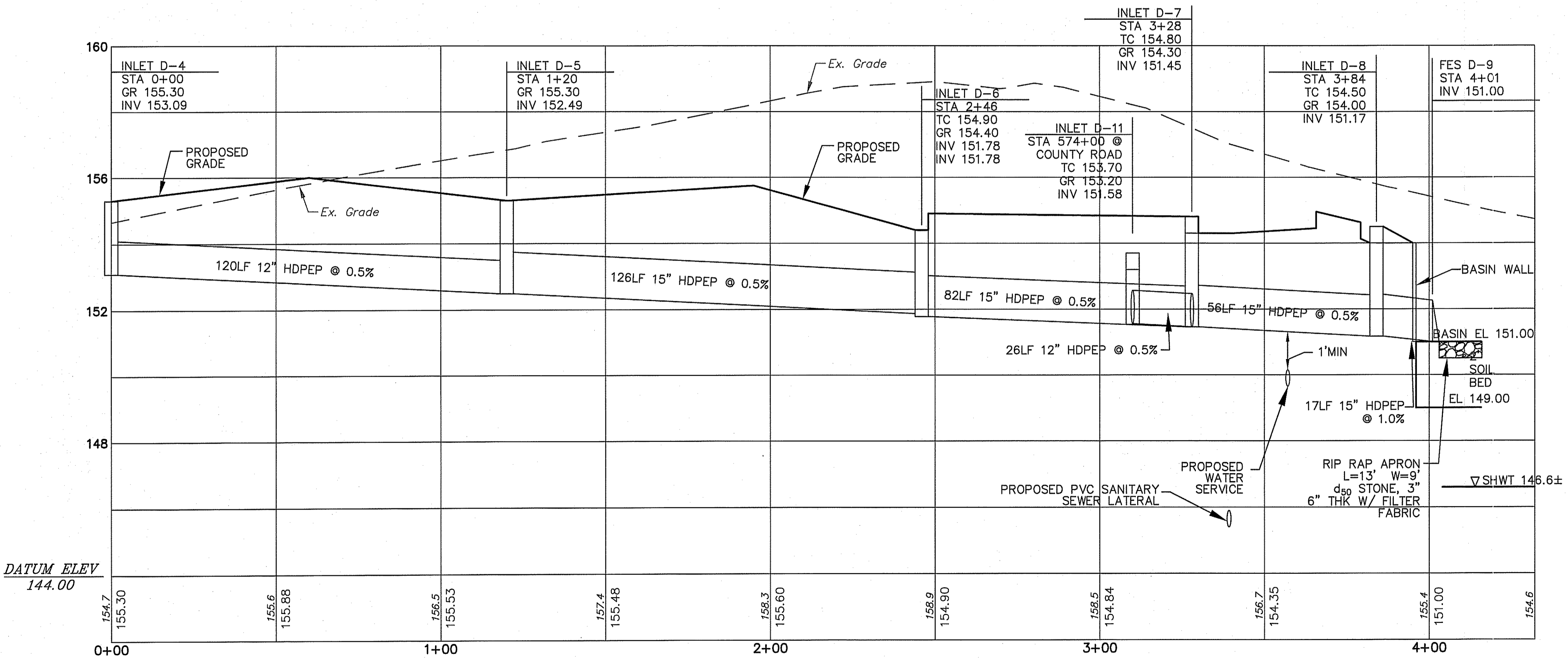
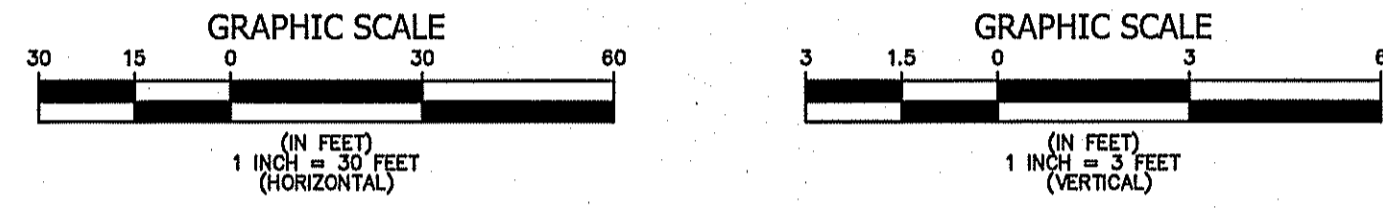
JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602815900
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY: JSM SCALE: 1"=20' DATE: 8/9/2018 SHEET: 4 OF 12 PROJECT: 18021

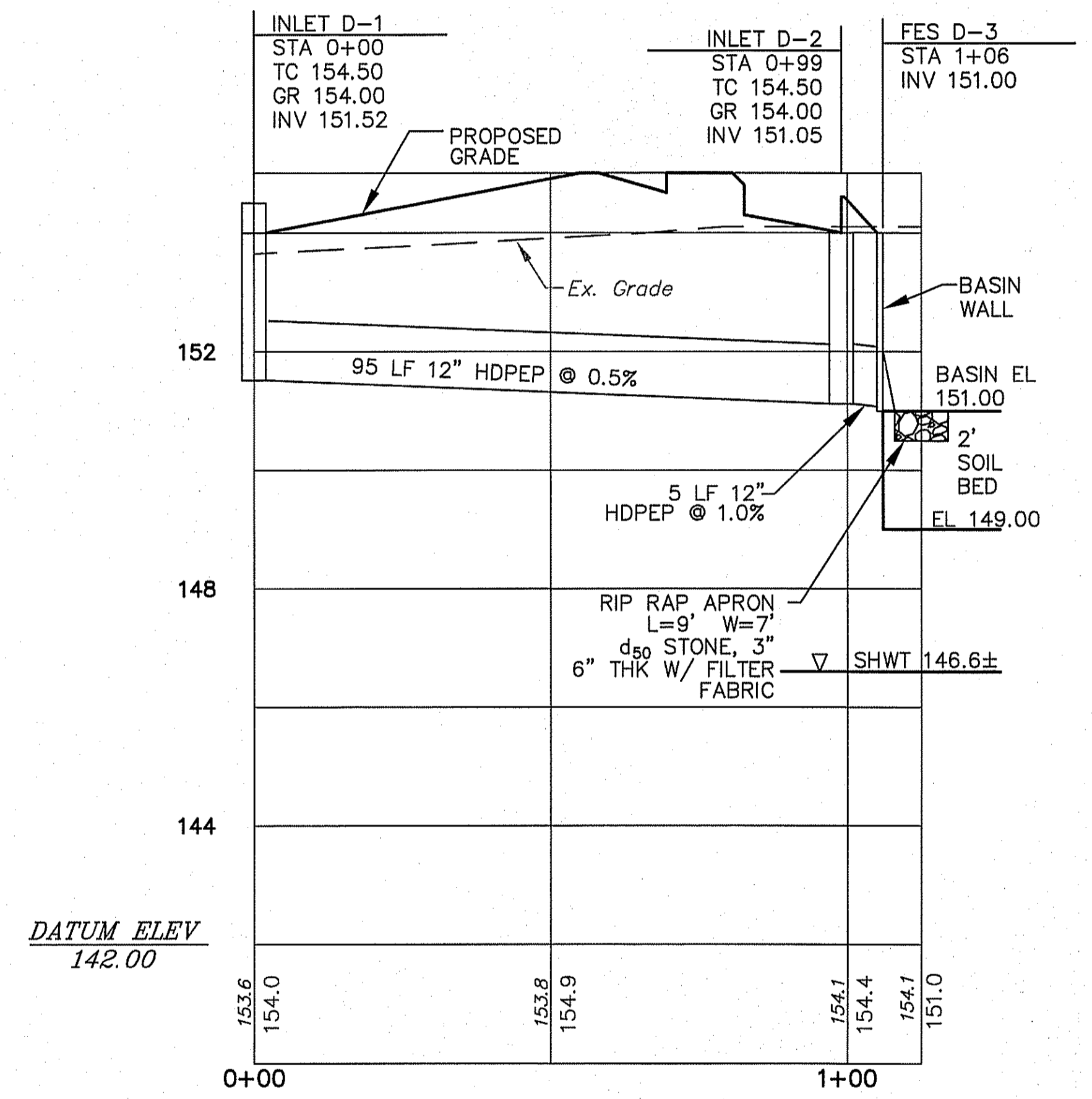


**SIGHT LINE PROFILE
ACCESS DRIVE TO NORTH**

**SIGHT LINE PROFILE
ACCESS DRIVE TO SOUTH**



INLET D-4 TO FES D-9



INLET D-1 TO FES D-3

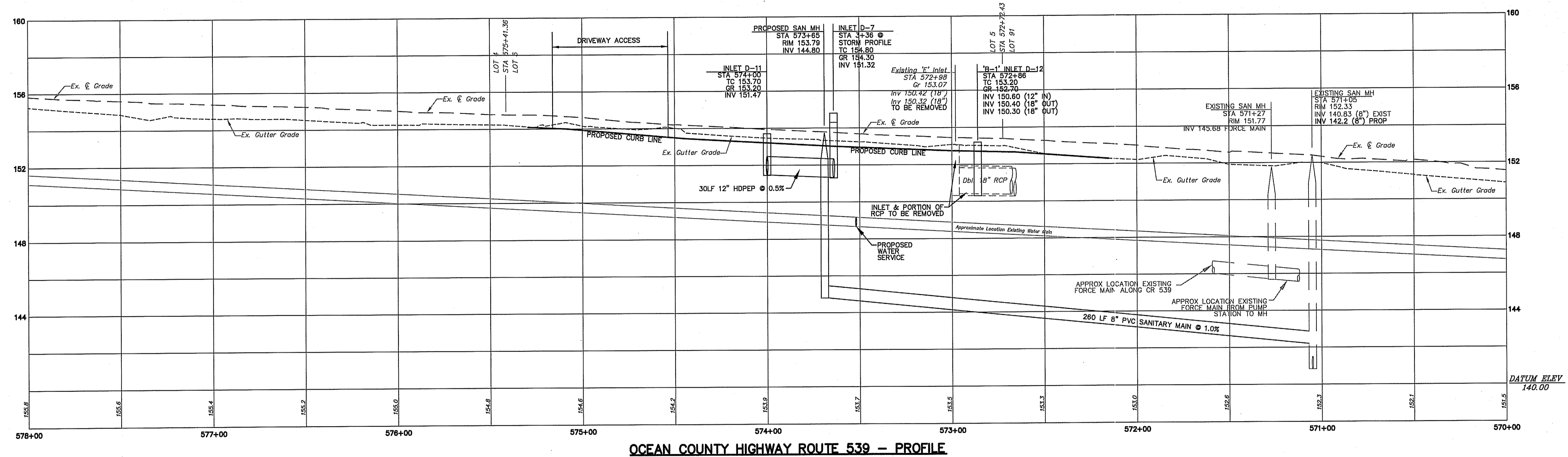
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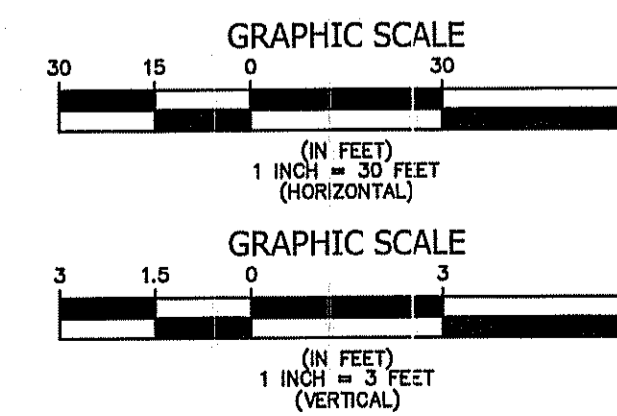
JEFFREY J. CARR
 PROFESSIONAL ENGINEER N.J. LIC. NO. 24602815000
 PROFESSIONAL PLANNER N.J. LIC. NO. 33100278400

**PRELIMINARY & FINAL MAJOR SITE PLAN
 SIGHT LINE & STORM PROFILES**
 141 OFFICE PARK, LLC
 LOT 5 BLOCK 109
 TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

DRAWN BY: JSM SCALE: AS NOTED DATE: 8/9/2018 SHEET: 5 OF 12 PROJECT: 18021



NO.	DATE	REVISION DESCRIPTION	BY
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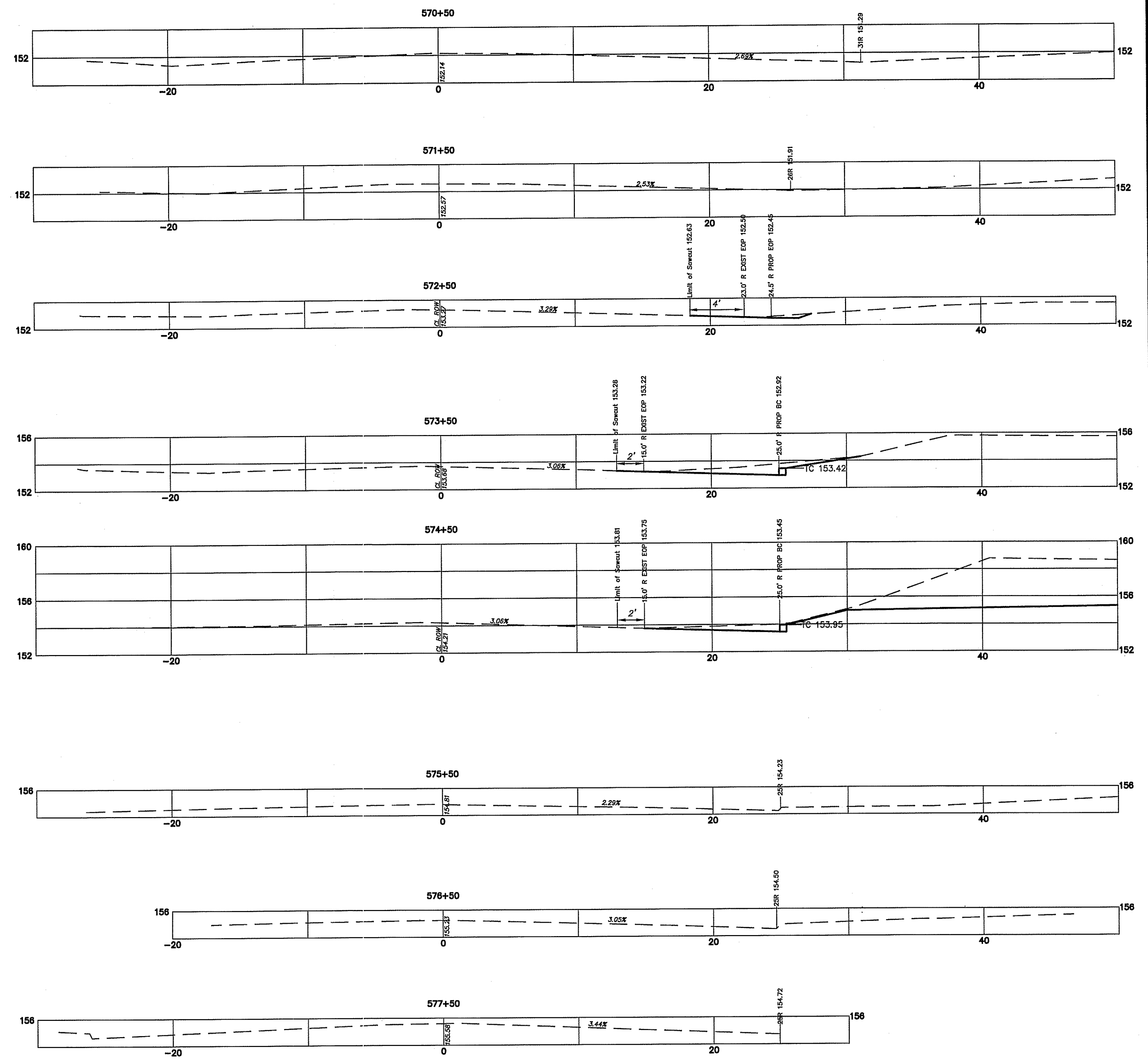
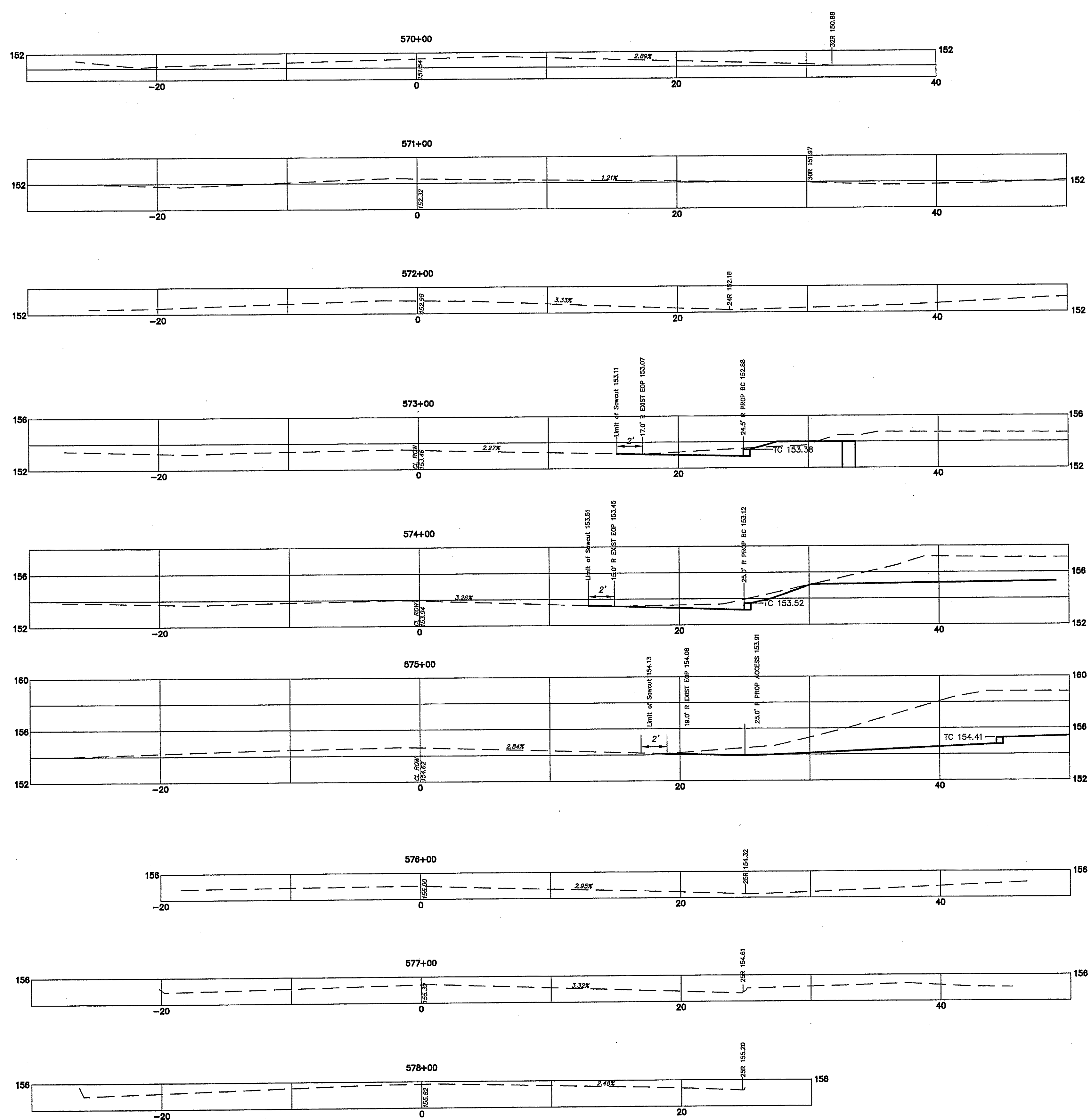


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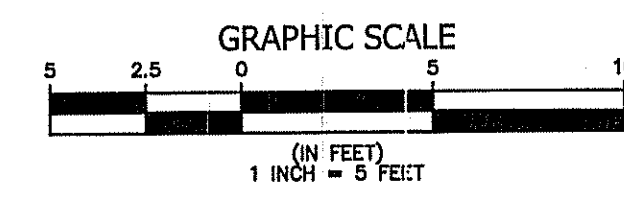
PRELIMINARY & FINAL MAJOR SITE PLAN
COUNTY 539 PROFILE
 141 OFFICE PARK, LLC
 LOT 5 BLOCK 109
 TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
 PROFESSIONAL ENGINEER N.J. LIC. NO. 246202815800
 PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY:	SCALE:	DATE:	SHEET:	PROJECT:
JSM	AS NOTED	8/9/2018	6 OF 12	18021



OCEAN COUNTY HIGHWAY ROUTE 539 - CROSS SECTIONS



1	9/27/19	REVISED PER OCEAN COUNTY ENGINEERING LETTER DATED 8/7/2019 & ADDED SHEET 7 TO SET	JSM
NO.	DATE	REVISION DESCRIPTION	BY

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
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JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 246602815800
PROFESSIONAL PLANNER N.J. LIC. NO. 33100278400

**PRELIMINARY & FINAL MAJOR SITE PLAN
COUNTY 539 SECTIONS
141 OFFICE PARK, LLC
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY**

DRAWN BY:	SCALE:	DATE:	SHEET:	PROJECT:
JSM	1"=5'	9/27/2019	7 OF 12	18021

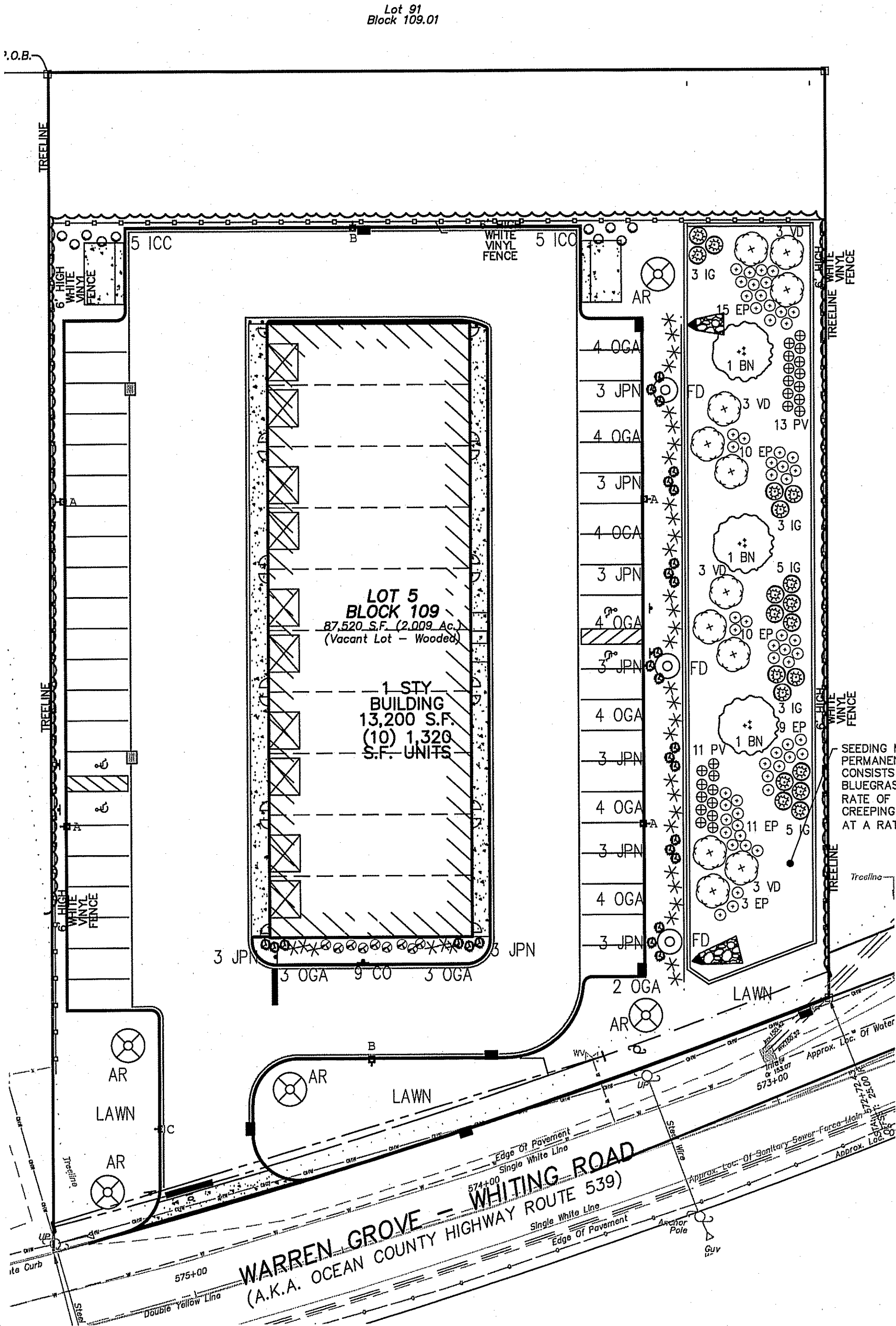
SYMBOL	BOTANICAL/COMMON NAME	SPACING	SIZE	MATURE HT	MATURE SPREAD	QTY
AR	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	N/A	2 1/2"-3" CAL.B&B	15'-25'	15'-25'	5
FD	CORNUS FLORIDA FLOWERING DOGWOOD	N/A	2 1/2"-3" CAL.B&B	15'-25'	15'-25'	3
ICC	ILEX CRENATA 'COMPACTA' COMPACT JAPANESE HOLLY	6' O.C.	3 GAL.	4'-6"	5'-6"	10
CO	CHAMAECYPARIS OBTUSA 'NAN GRACILIS' DWARF HINKO FALSCYPPRESS	6' O.C.	3 GAL.	5'	4'	9
OGA	MISCANTHUS SINENSIS 'ADAGO' DWARF MAIDEN GRASS	3' O.C.	3 GAL.	3'-4'	3'-4'	36
JPN	JUNIPER PROCUMBENS 'NANA' DWARF JAPANESE GARDEN JUNIPER	3' O.C.	3 GAL.	1'	3'-4'	27

SYMBOL	BOTANICAL/COMMON NAME	SPACING	SIZE	MATURE HEIGHT	MATURE SPREAD	QTY
BN	BETULA NIGRA RIVER BIRCH	N/A	2 1/2"-3" CAL.B&B	20'-30'	15'-20'	3
IG	ILEX GLABRA INKBERRY	6' O.C.	3 GAL.	4'-6"	5'-6"	19
VD	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	6' O.C.	3 GAL., 30"	6'-10'	6'-15'	12
EP	EUPATORIUM PURPUREUM SWEET-SCENTED JOE PYE WEED	2' O.C.	1 GAL., 15"	5'-7"	2'-4"	58
PV	PANICUM VIRGATUM SWITCHGRASS	4' O.C.	QUART	4'-6"	3'-4"	24

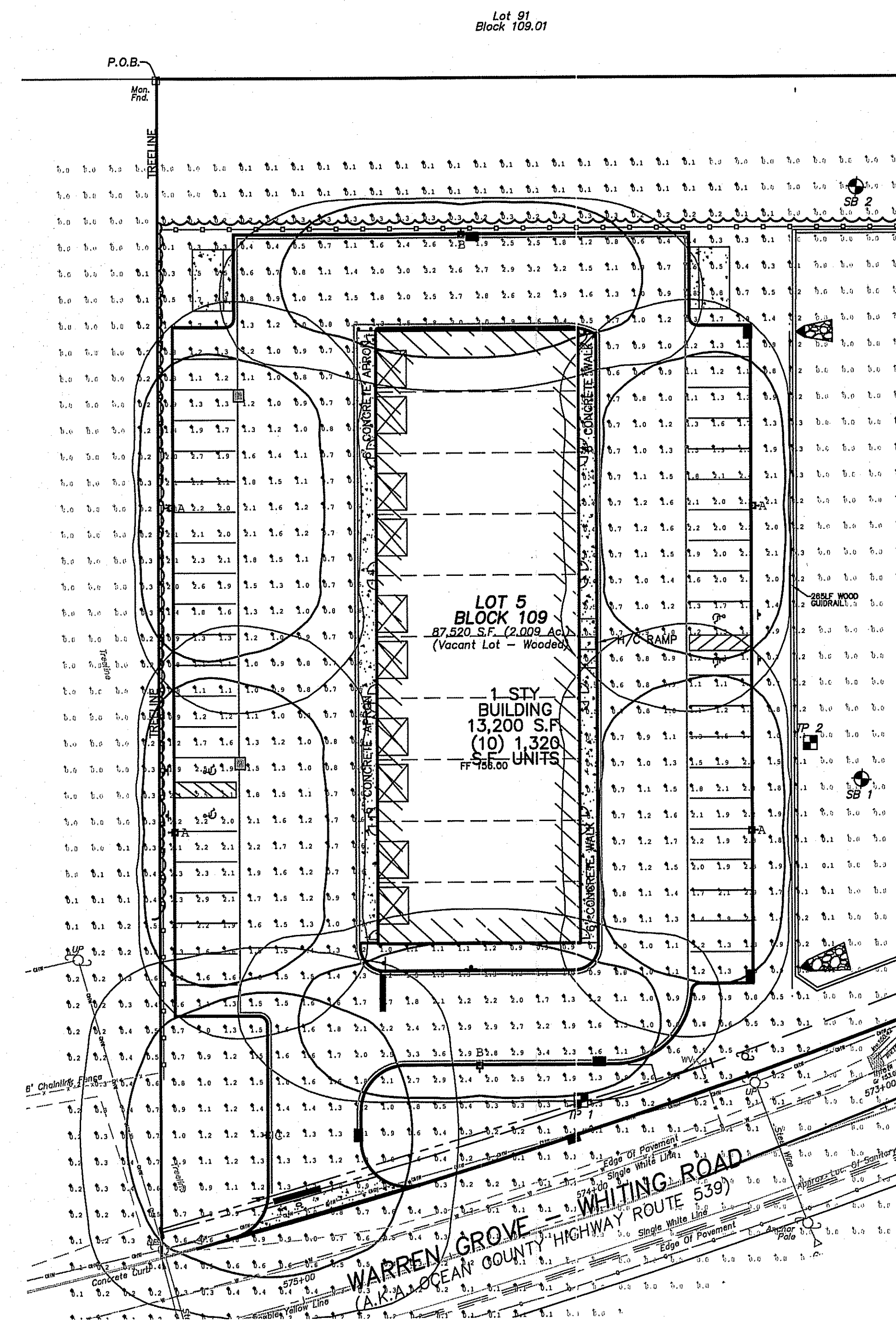
LIGHTING DESIGN PREPARED BY
ENTERPRISE LIGHTING SALES
ANDY CHILDERS
1480 ROUTE 9 NORTH
SUITE 304
WOODBRIDGE, NJ 07095
732-634-2025 x282
ochilders@entersales.com

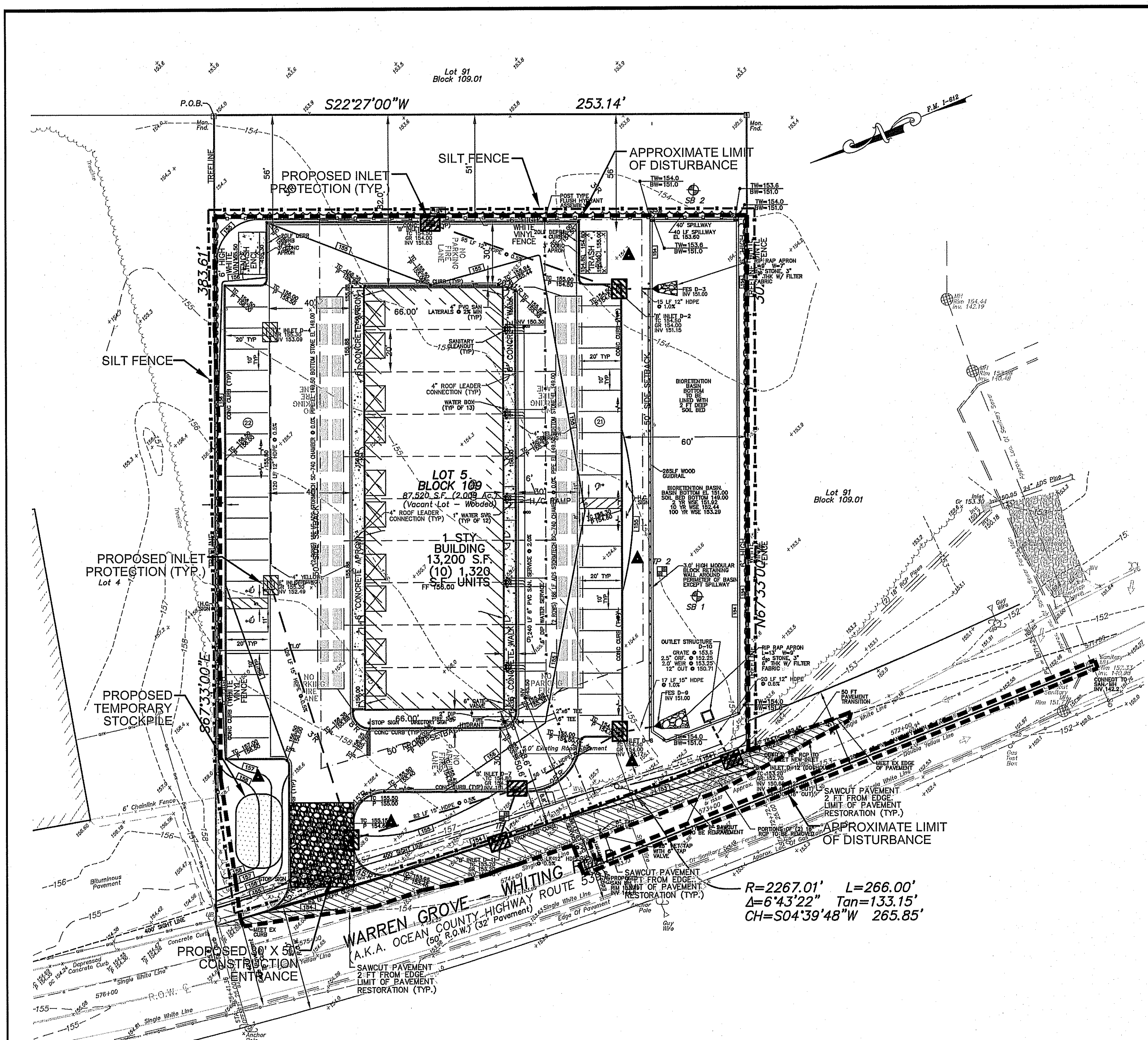
GENERAL PLANTING NOTES

- A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED ON TOP OF ALL PLANTING AREAS. THE BIDS SHALL BE FINAL GRADE AND RAKED FREE OF ALL DEBRIS. ALL SOILS MUST BE OF A PROPER PHYSICAL AND CHEMICAL PROPERTY TO SUPPORT THE PROPOSED PLANT MATERIALS. PLANTING AREAS WILL BE DRESSED WITH A MINIMUM OF 4" OF HARDWOOD BARK MULCH.
- ONLY NURSERY GROWN PLANT MATERIALS ARE ACCEPTABLE. ALL TREE AND SHRUB MATERIALS SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. THE CONTRACTOR CANNOT LOCATE MATERIAL OF ACCEPTABLE SIZE AT THE TIME OF INSTALLATION, CONTACT LANDSCAPE ARCHITECT FOR SUBSTITUTION, DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER WILL NOT BE ALLOWED.
- ALL PLANTS SHOULD BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHOULD HAVE NORMAL WELL DEVELOPED ROOT SYSTEMS, HEALTHY, VIGOROUS & FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASE, INSECT EGGS, BORERS & ALL OTHER FORMS OF INFECTION.
- ALL PLANT MATERIAL SHOULD BE GUARANTEED BY THE CONTRACTOR TO BE IN A VIGOROUS GROWN CONDITION FOR A PERIOD OF NOT LESS THAN 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE BY OWNER. IT SHOULD BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE GROWTH OF PLANTS AND NOTIFY THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. ANY MATERIAL THAT IS 25% DEAD OR MORE SHOULD BE CONSIDERED DEAD WHEN THE GARDEN LEADER HAS DIED BACK, OR THERE ARE 25% OF THE CROWN DEAD. REPLACEMENTS SHOULD BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. REPLACEMENT PLANTS SHOULD BE GUARANTEED FOR A PERIOD OF 90 DAYS AFTER INSTALLATION.
- TREES AND SHRUBS SHOULD BE PLANTED ONLY WHEN THE SOIL IS FROST FREE. PLANTING SEASON SHALL BE MARCH 15 TO JUNE 30, OR SEPTEMBER 1 TO NOVEMBER 30, FOR ALL SHADE AND BUFFER AREAS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE. TREES SHOULD BE PLANTED AT A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. PLACING THIS NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DESIGN ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CIR. CIRCUMFERENCE AROUND THE TRUNK BASE, PROVIDE 4" MIN. THK. MULCH AT BASE OF TRUNK.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES, TRAFFIC SIGHT LINES OR PUBLIC WALKWAYS.
- DURABLE LABELS INDICATING GENUS, SPECIES, VARIETY & CULTURAL REQUIREMENTS INCLUDING WATER & FERTILIZATION TO BE TAGGED ON ALL PLANTS.
- TREE PITS TO BE BACKFILLED WITH A PLANTING SOIL MIX OF 1/3 LEAF COMPOST, 1/3 ORIGINAL SOIL & 1/3 TOPSOIL BY VOLUME.
- PLANTS & SHRUBS WITHIN SIGHT TRIANGLES SHALL BE RESTRICTED TO 30" MATURE HEIGHT. TREES WITHIN SIGHT TRIANGLES SHALL BE PRUNED OF ALL BRANCHES TO A MINIMUM HEIGHT OF SEVEN (7) FEET.
- IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES INDICATED ON THE PLAN SCHEDULE AND THOSE GRAPHICALLY DEPICTED, THE PLAN QUANTITIES ON THE PLAN SHALL GOVERN.

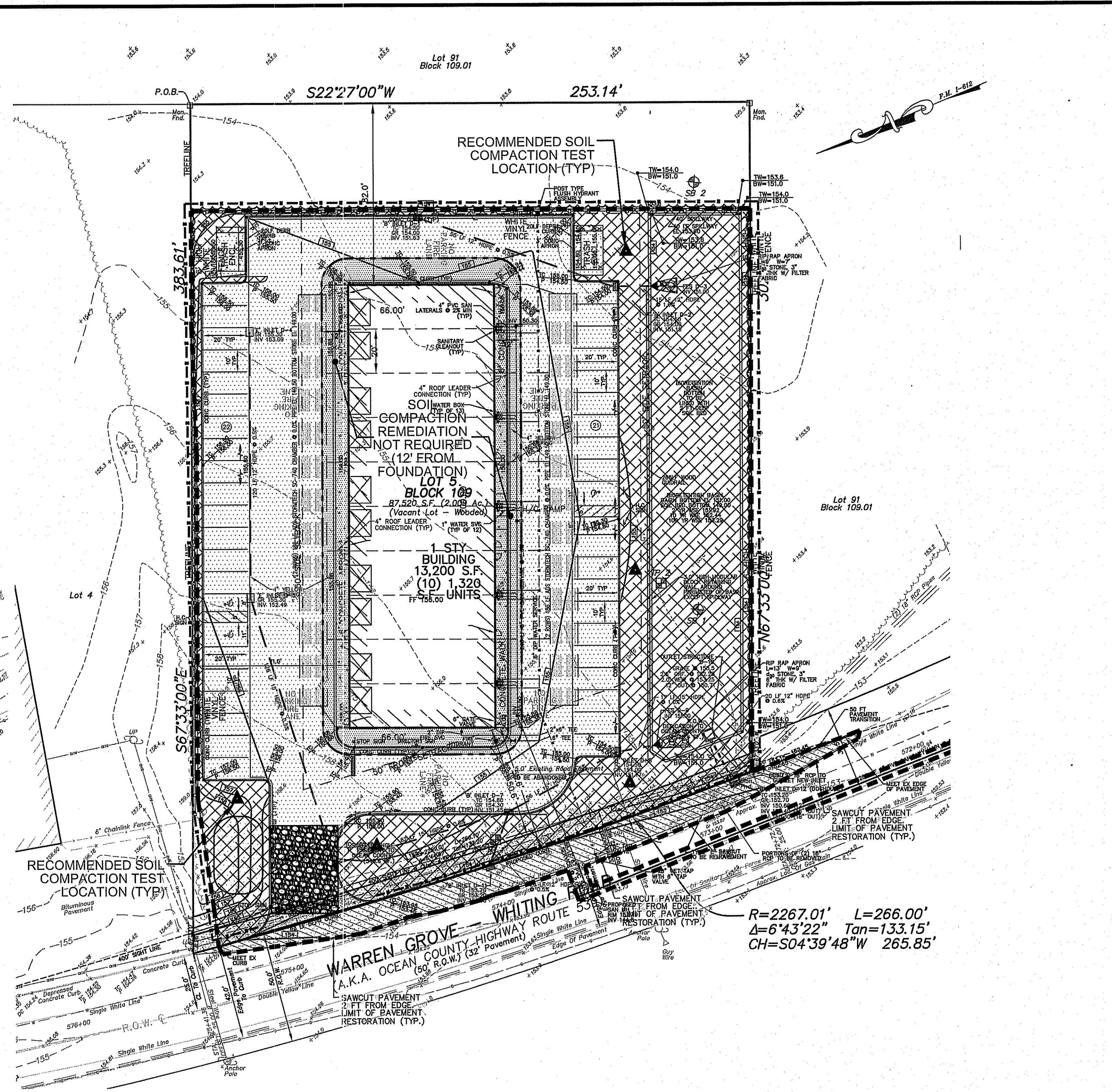


LANDSCAPE PLAN





SOIL EROSION & SEDIMENT CONTROL PLAN



SOIL MITIGATION PLAN

$$R=2267.01' \quad L=266.00'$$

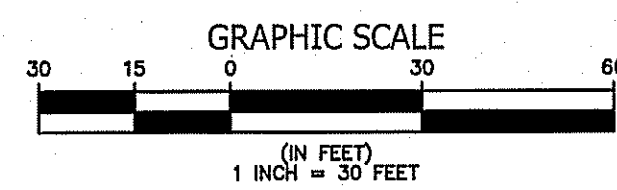
$$\Delta=6^{\circ}43'22'' \quad \text{Tan}=133.15'$$

$$CH=S04^{\circ}39'48''W \quad 265.85'$$

$$R=2267.01' \quad L=266.00'$$

$$\Delta=6^{\circ}43'22'' \quad \text{Tan}=133.15'$$

$$CH=S04^{\circ}39'48''W \quad 265.85'$$



- LEGEND**
- SOIL COMPACTION TESTING AREAS (>500 S.F. CONTINUOUS WITHIN L.O.D.)
 - AREAS NOT SUBJECT TO SOIL COMPACTION MITIGATION
 - RECOMMENDED SOIL COMPACTION TEST LOCATION

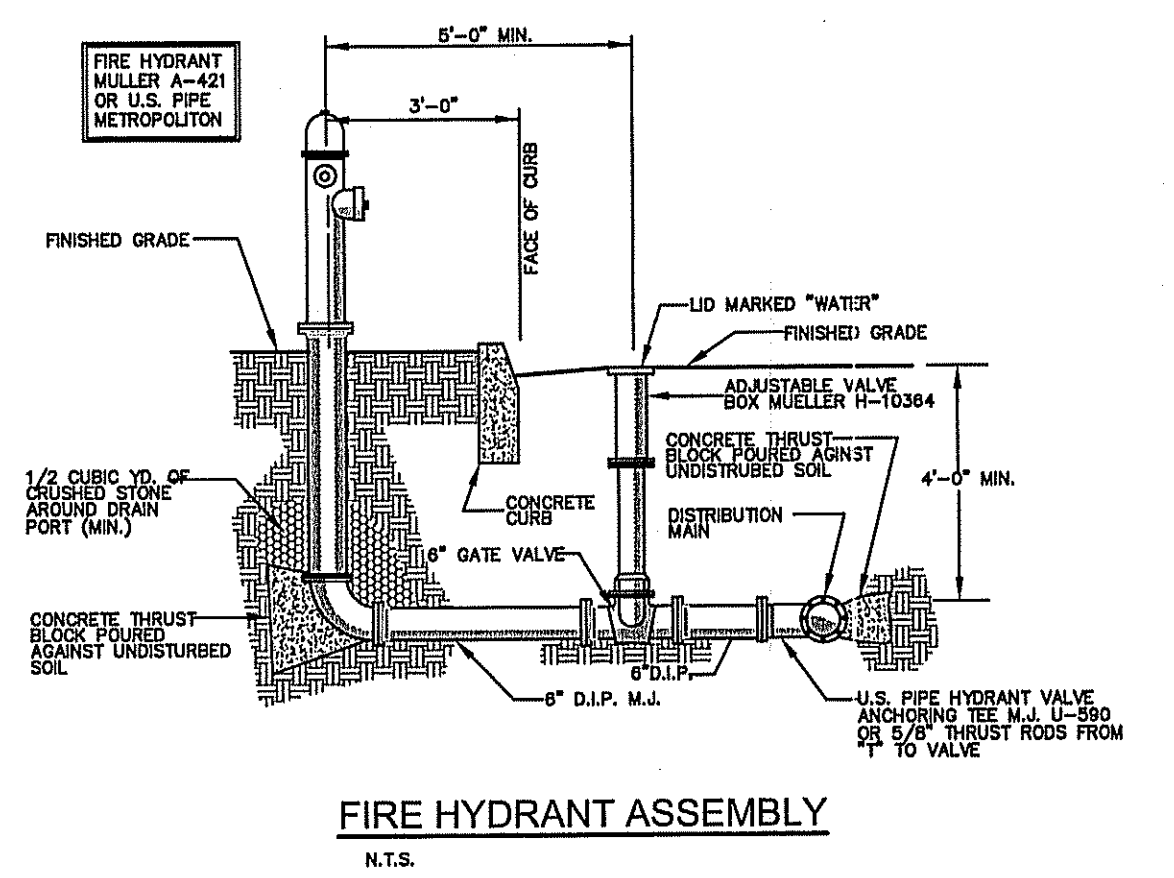
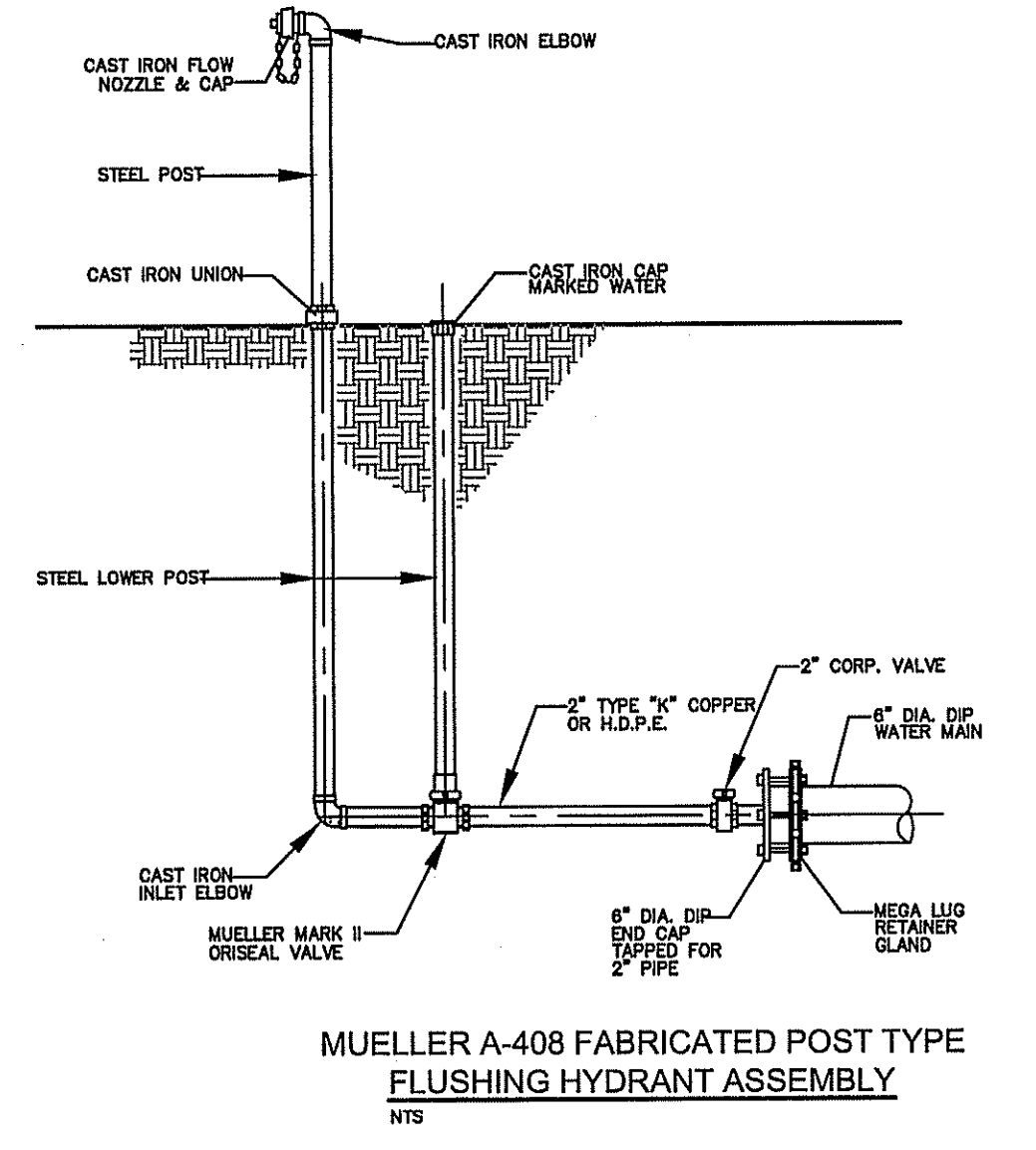
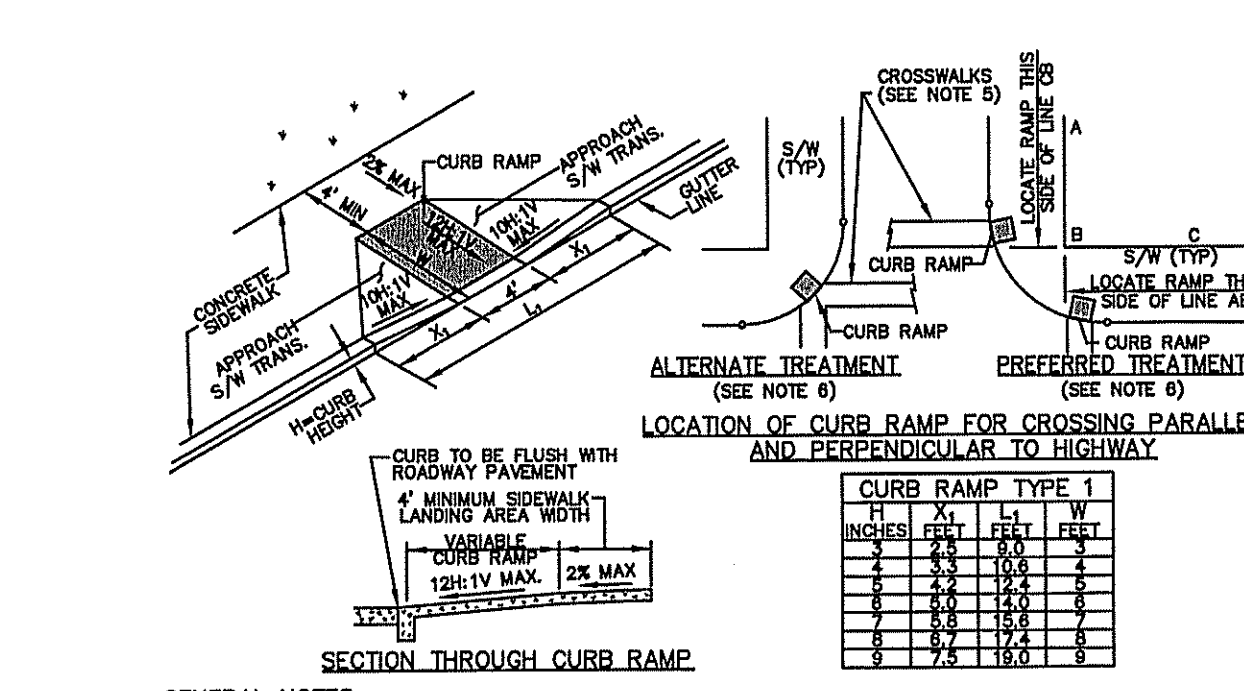
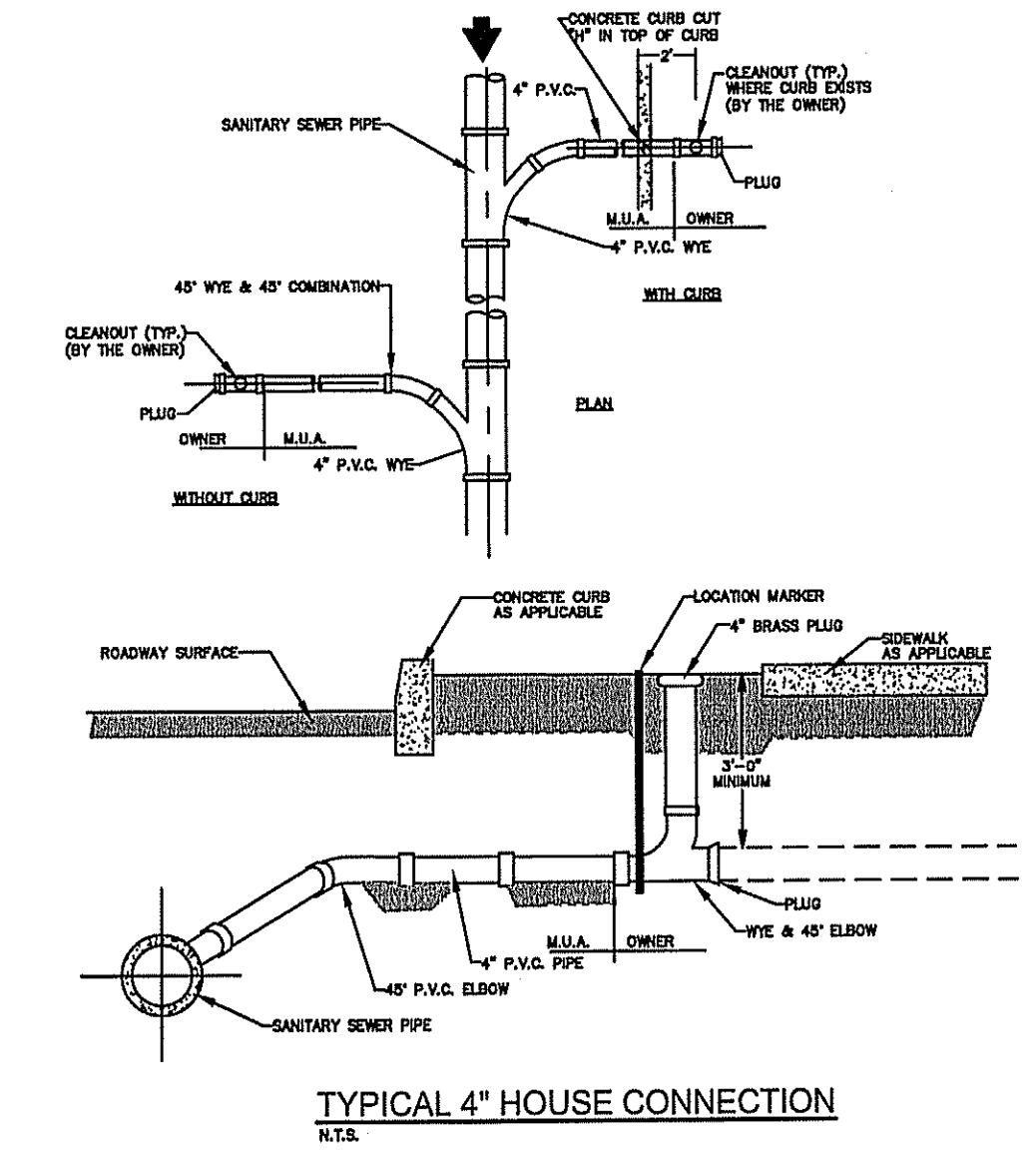
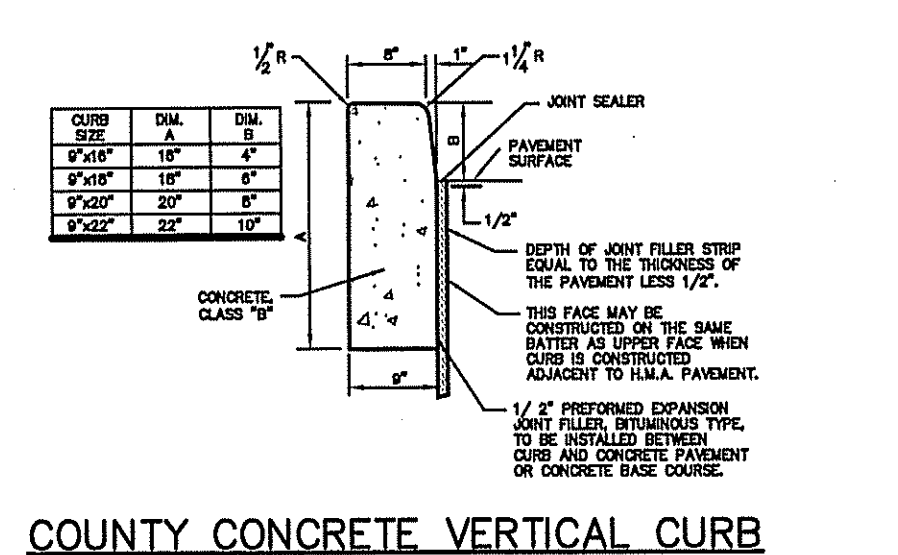
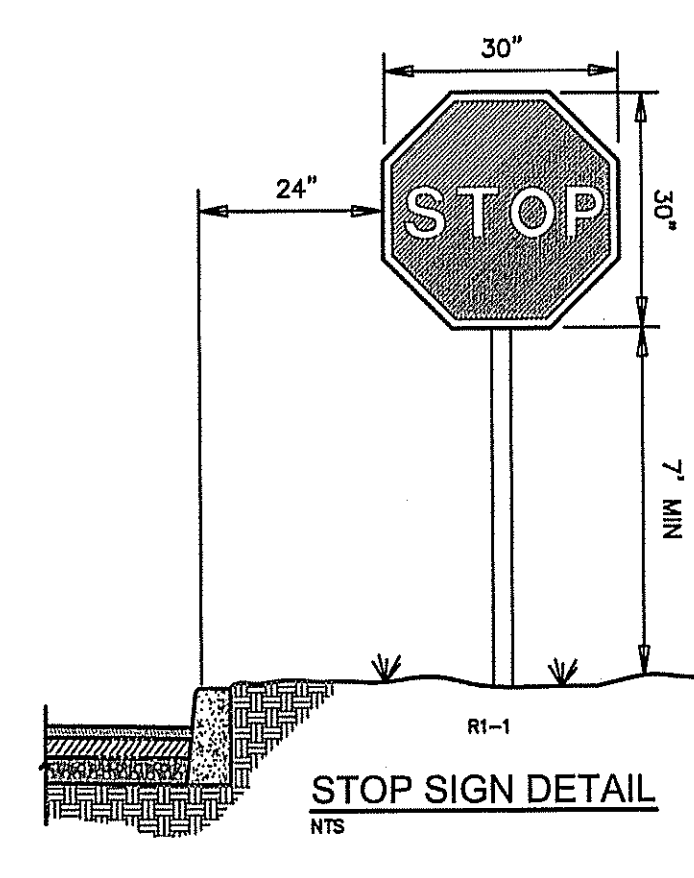
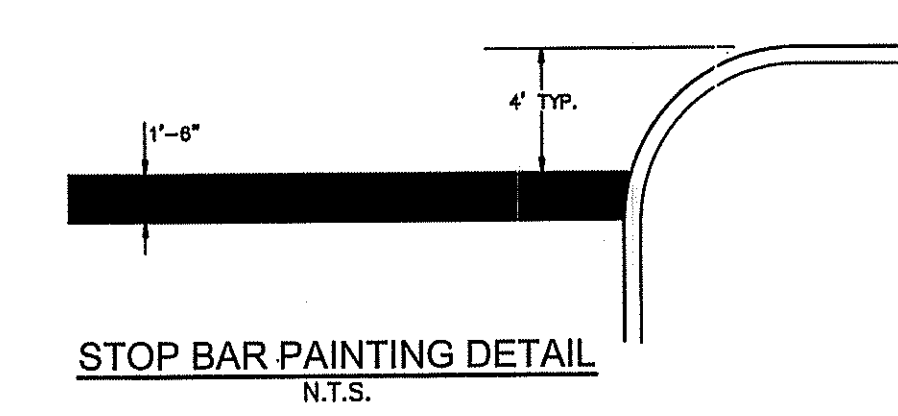
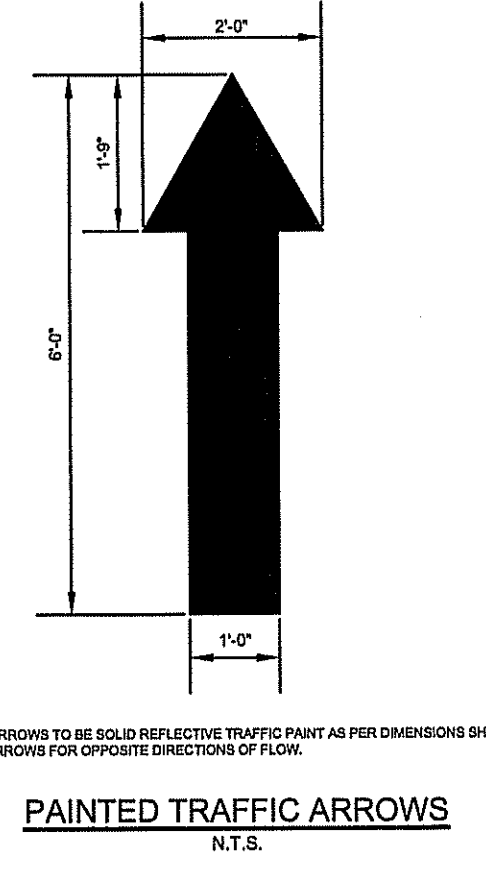
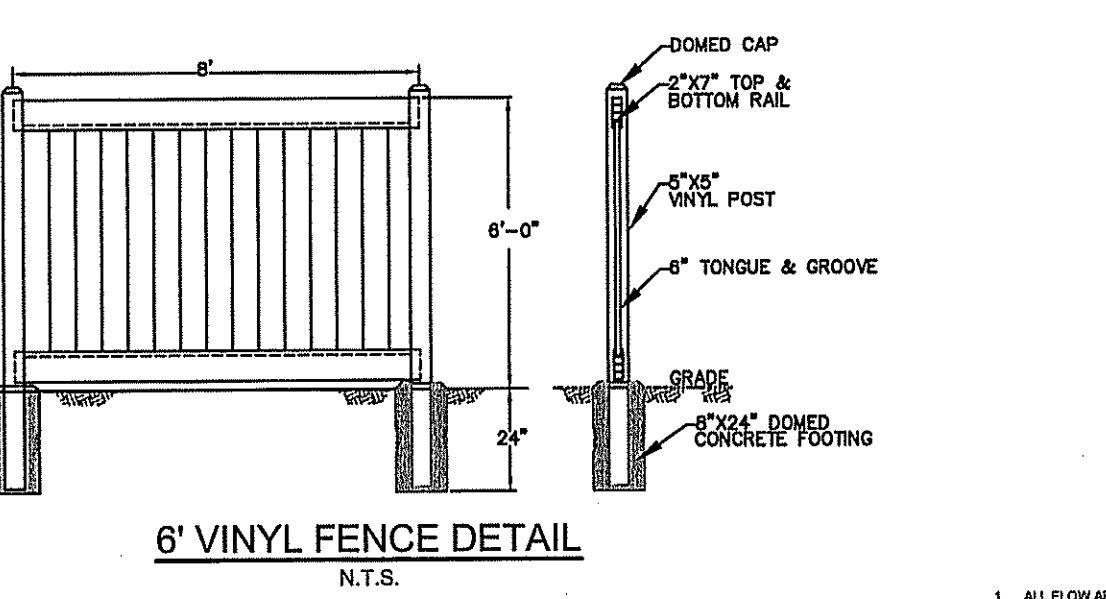
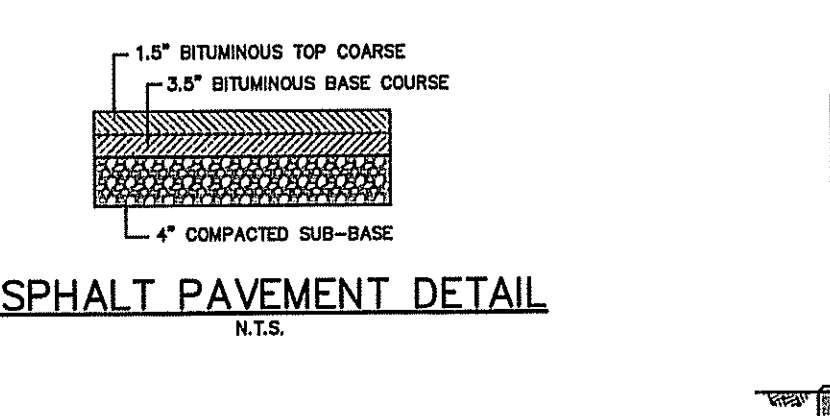
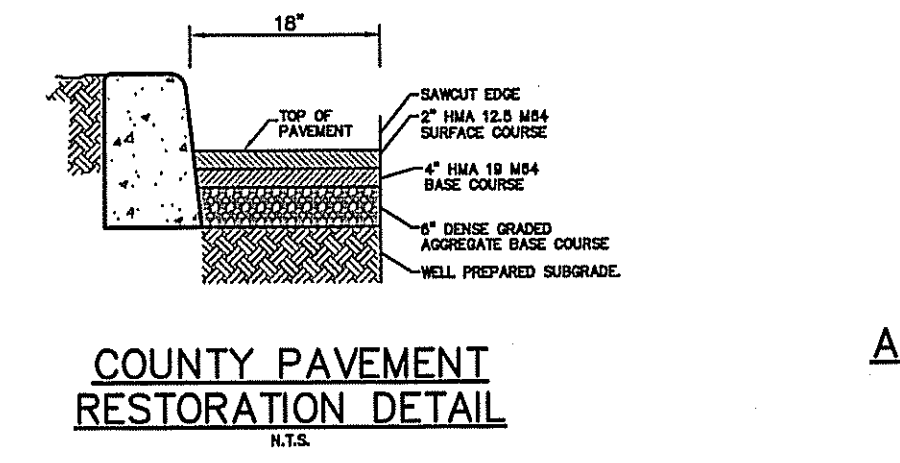
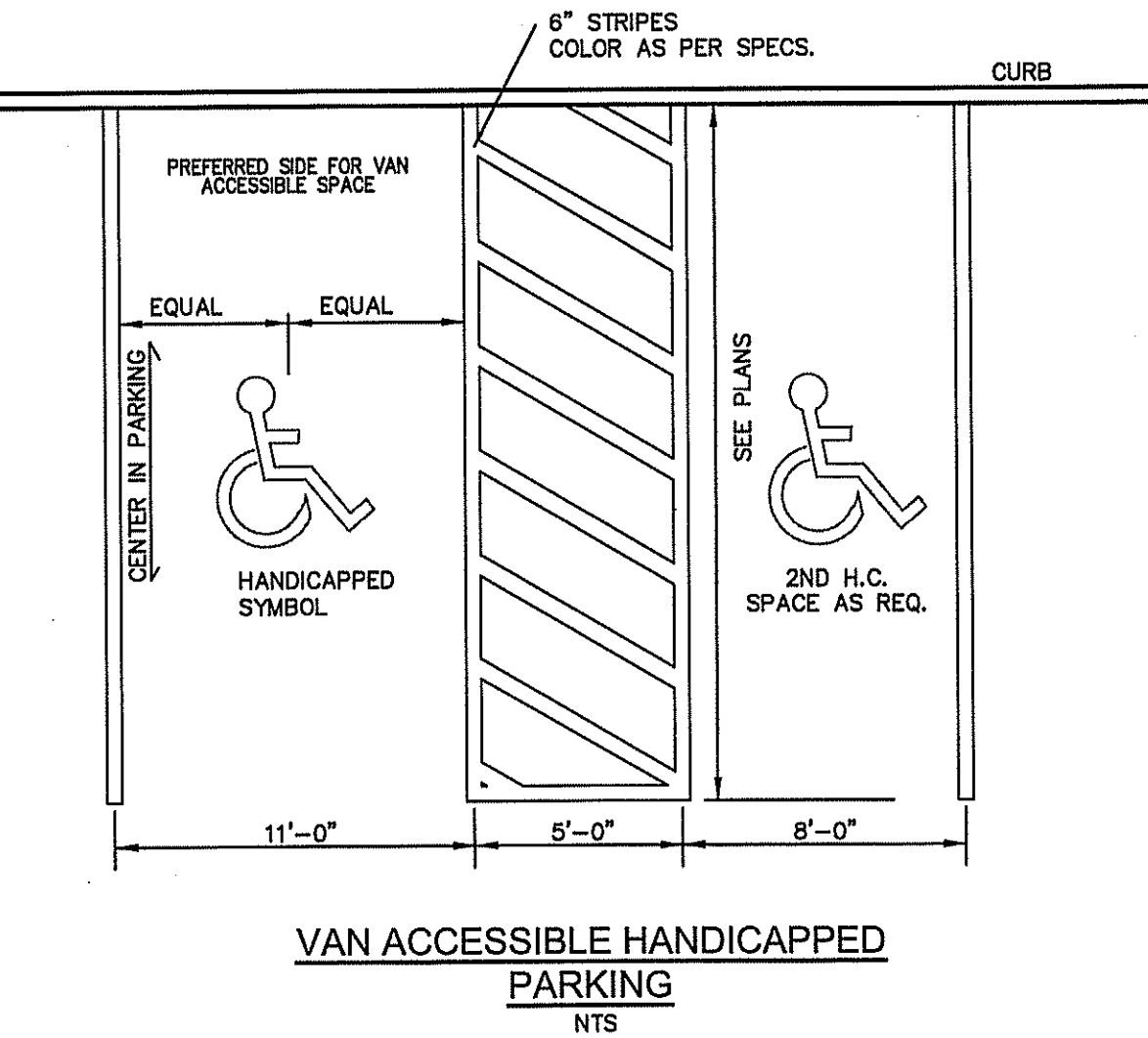
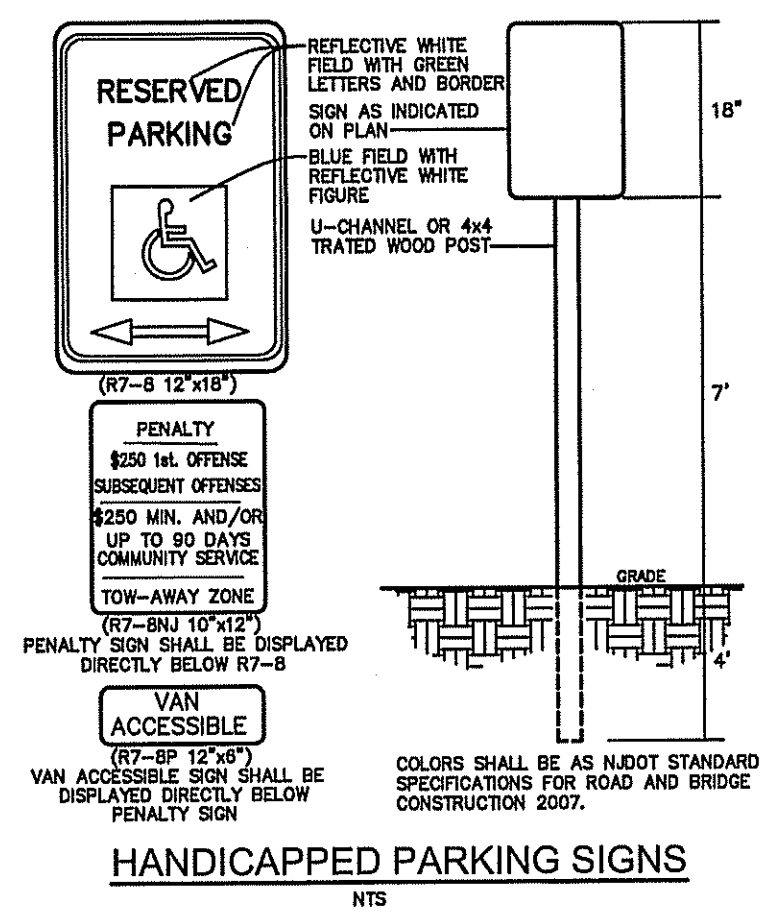
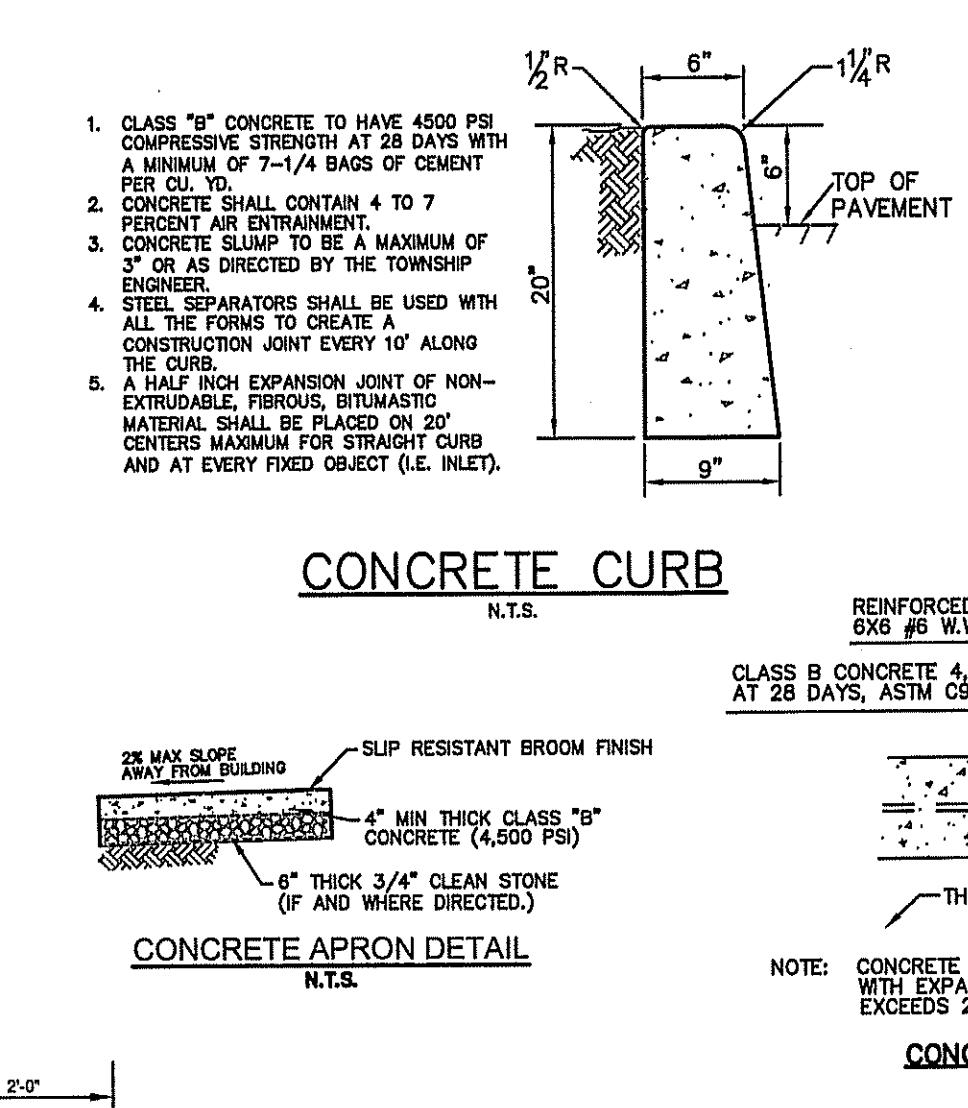
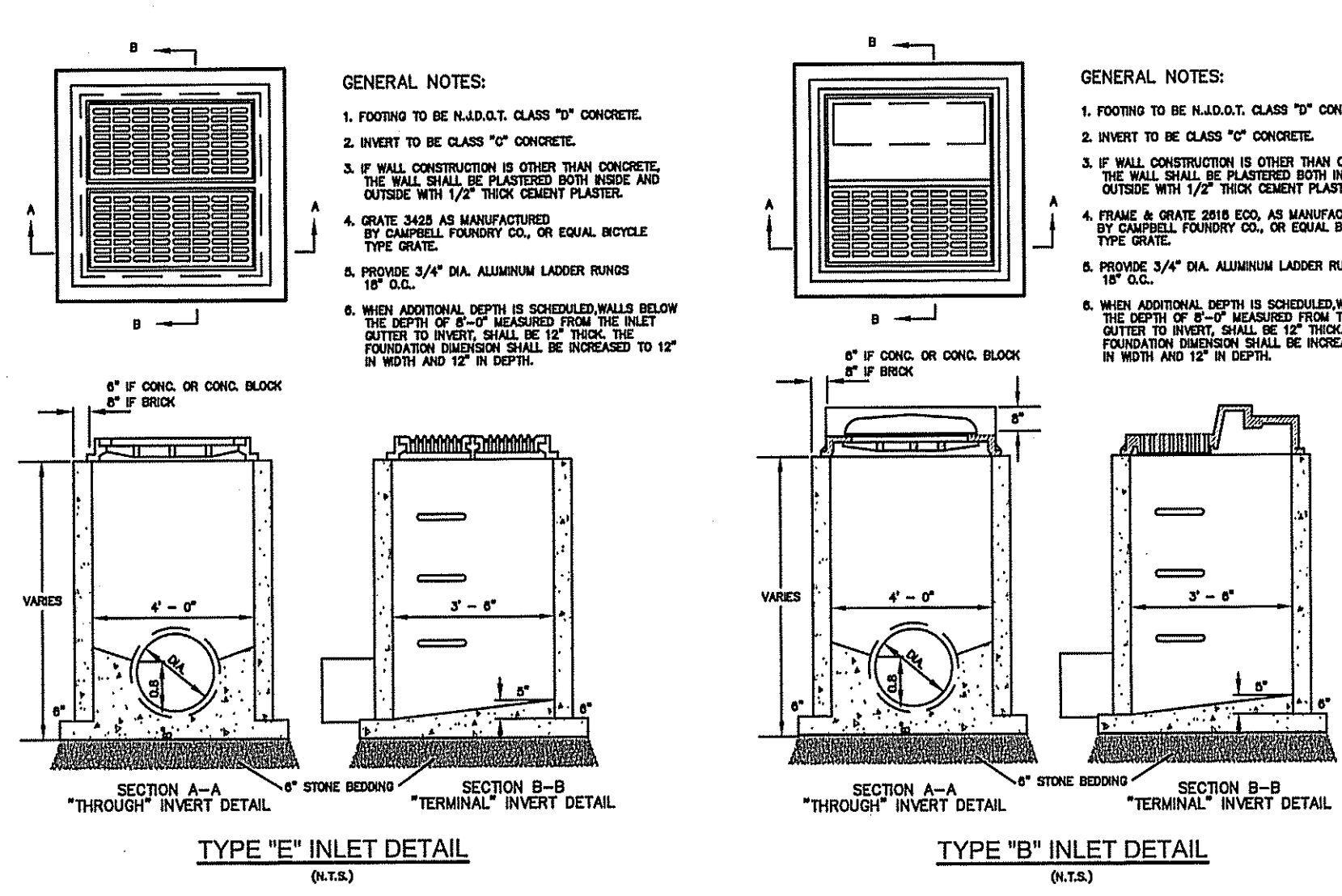
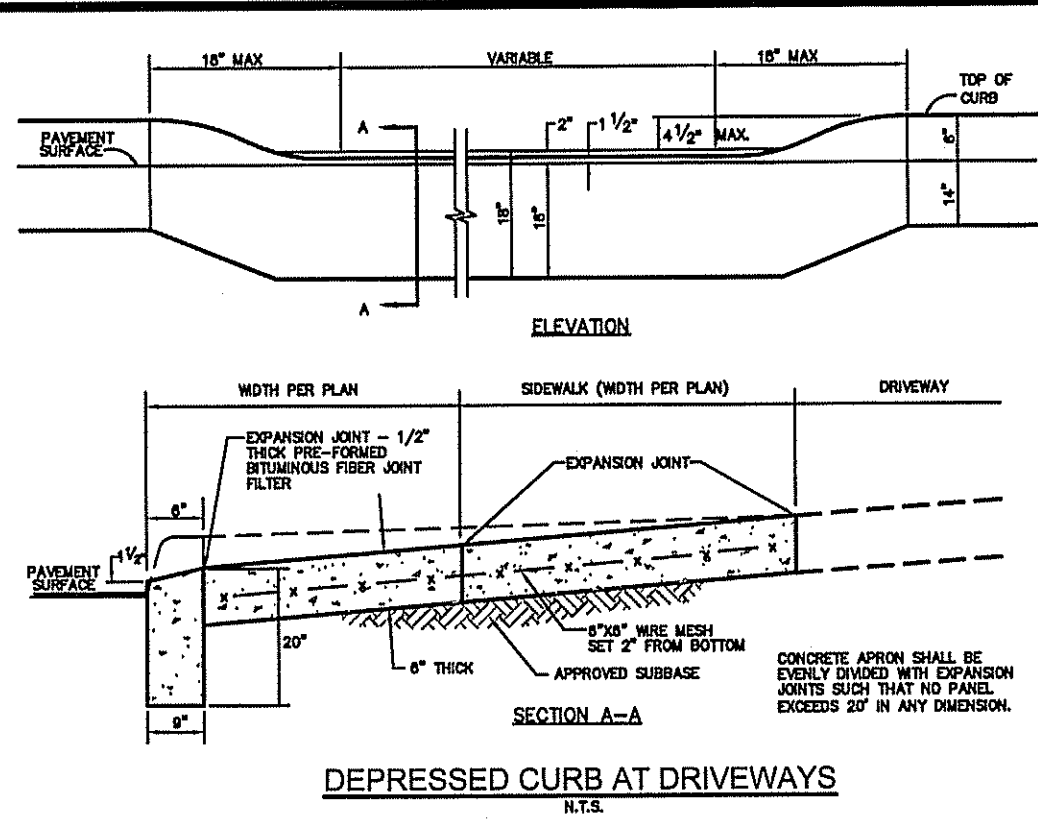
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NO.	DATE	REVISION DESCRIPTION	BY

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**PRELIMINARY & FINAL MAJOR SITE PLAN
SOIL EROSION & SEDIMENT CONTROL PLAN
141 OFFICE PARK, LLC
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY**

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 24952/2815800
PROFESSIONAL PLANNER N.J. LIC. NO. 33102/278400

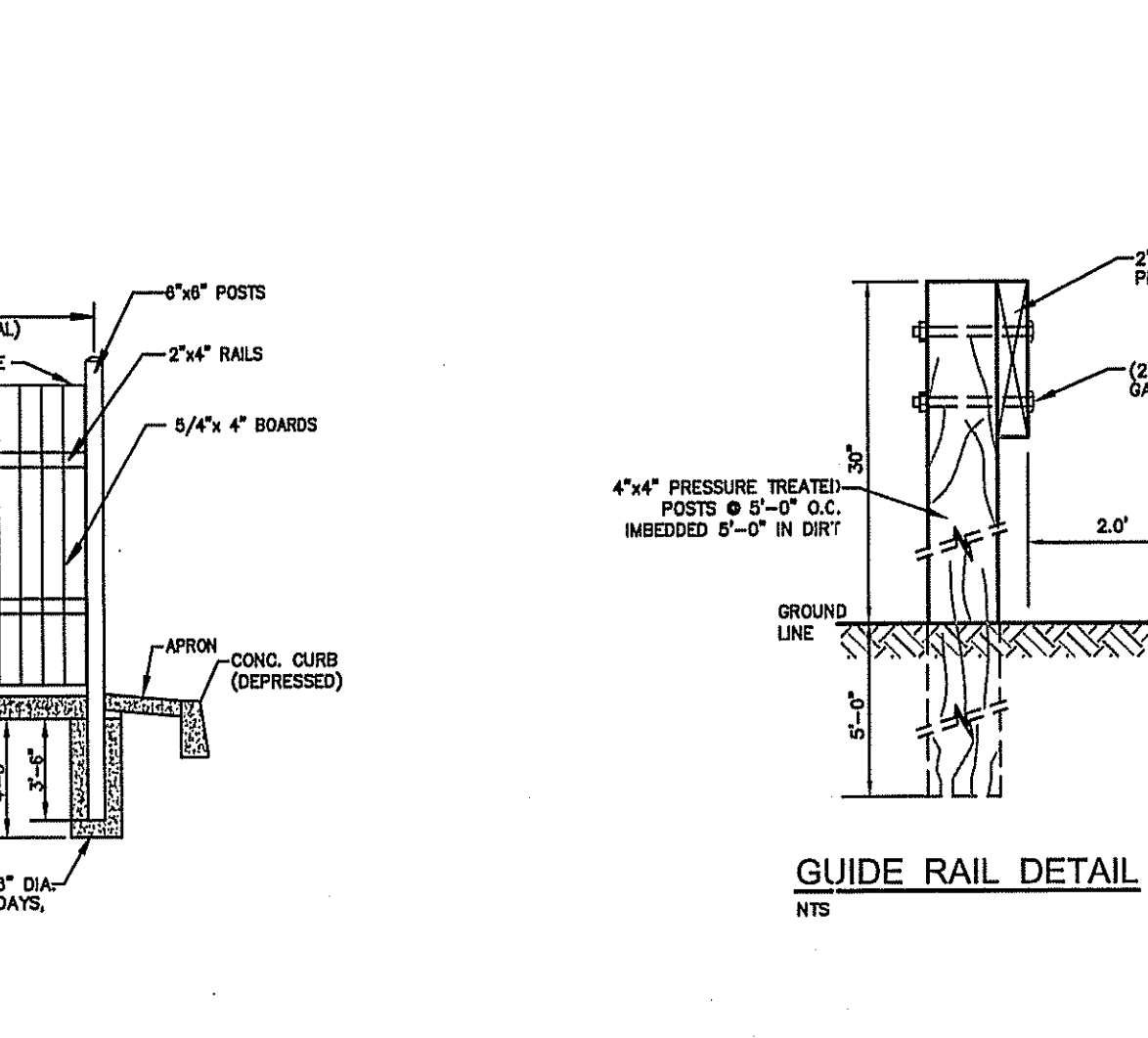
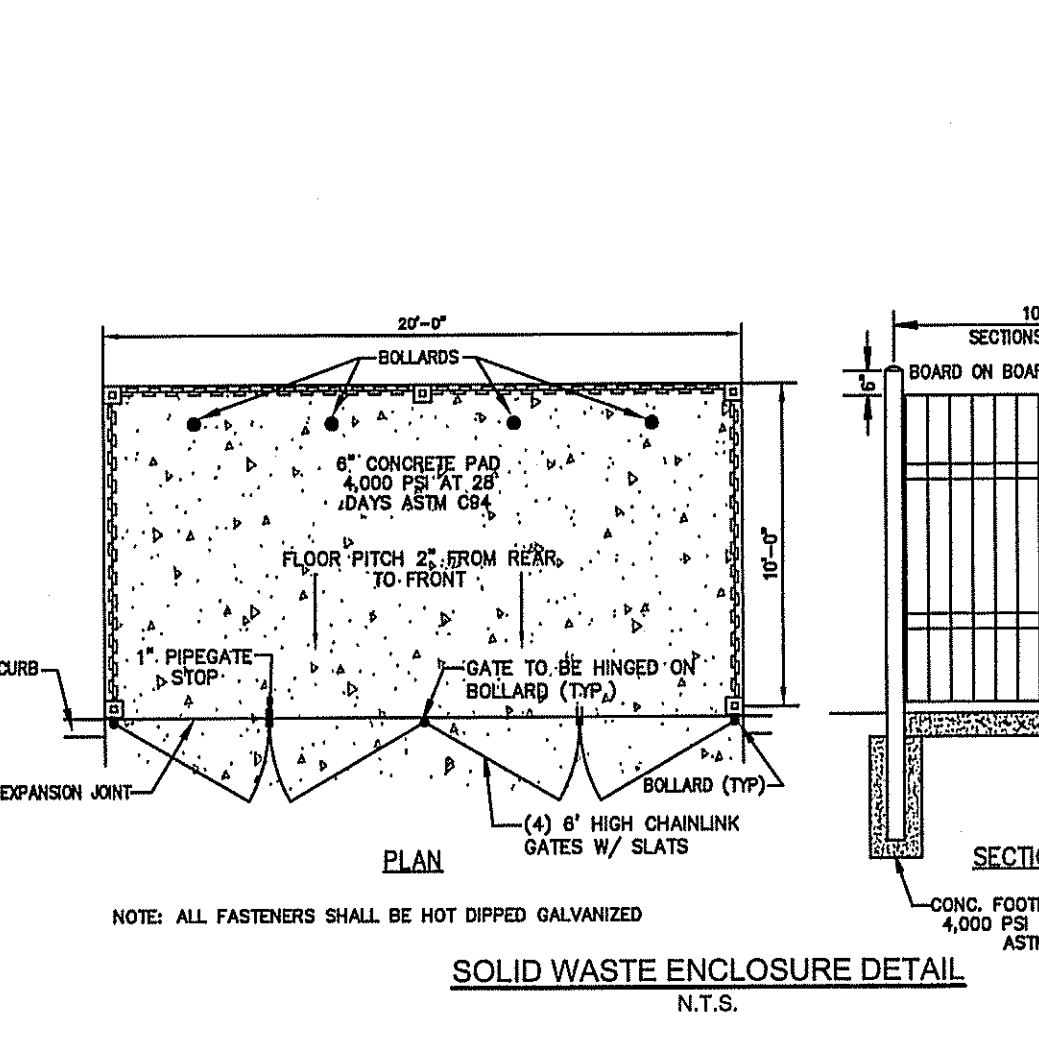
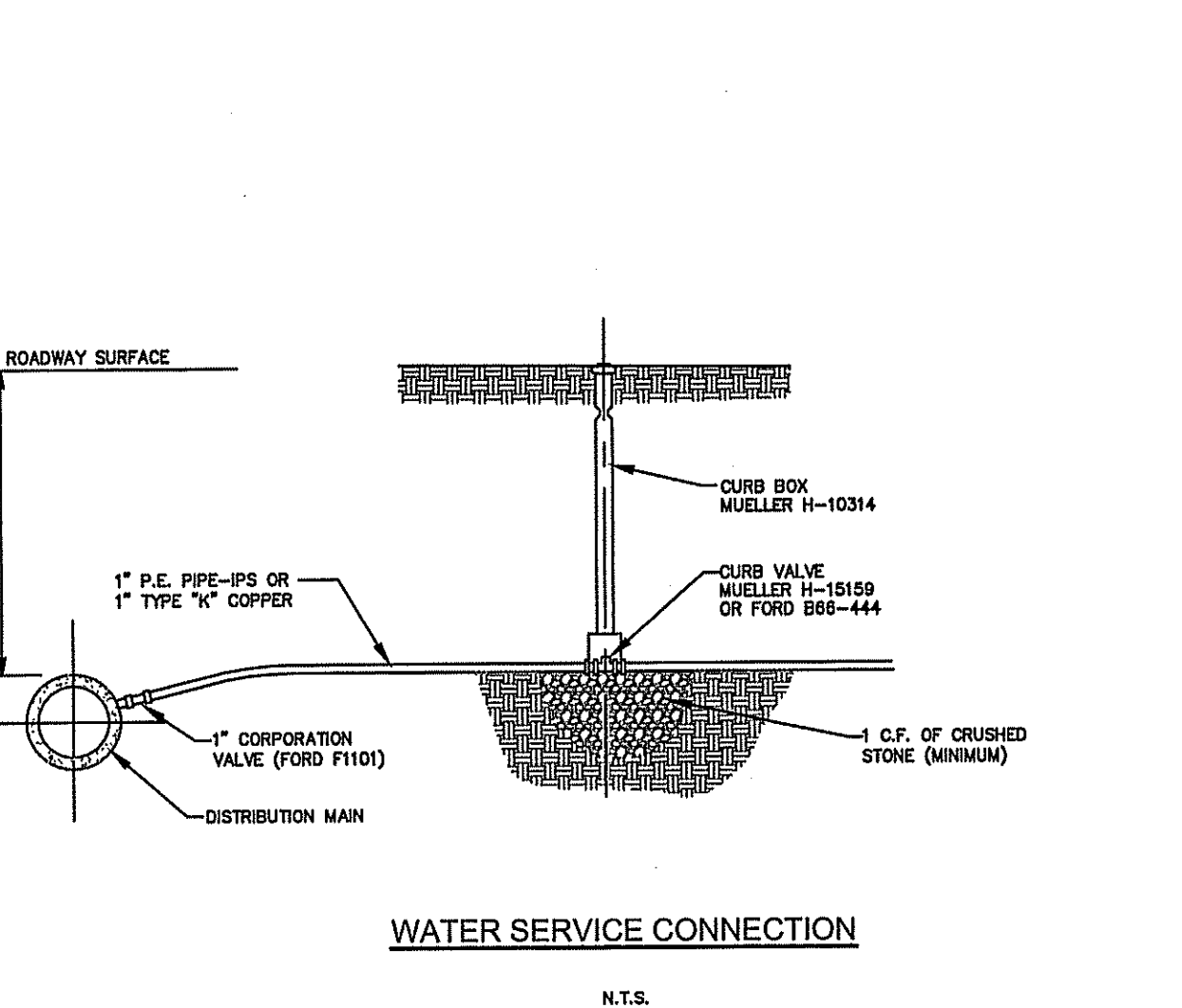
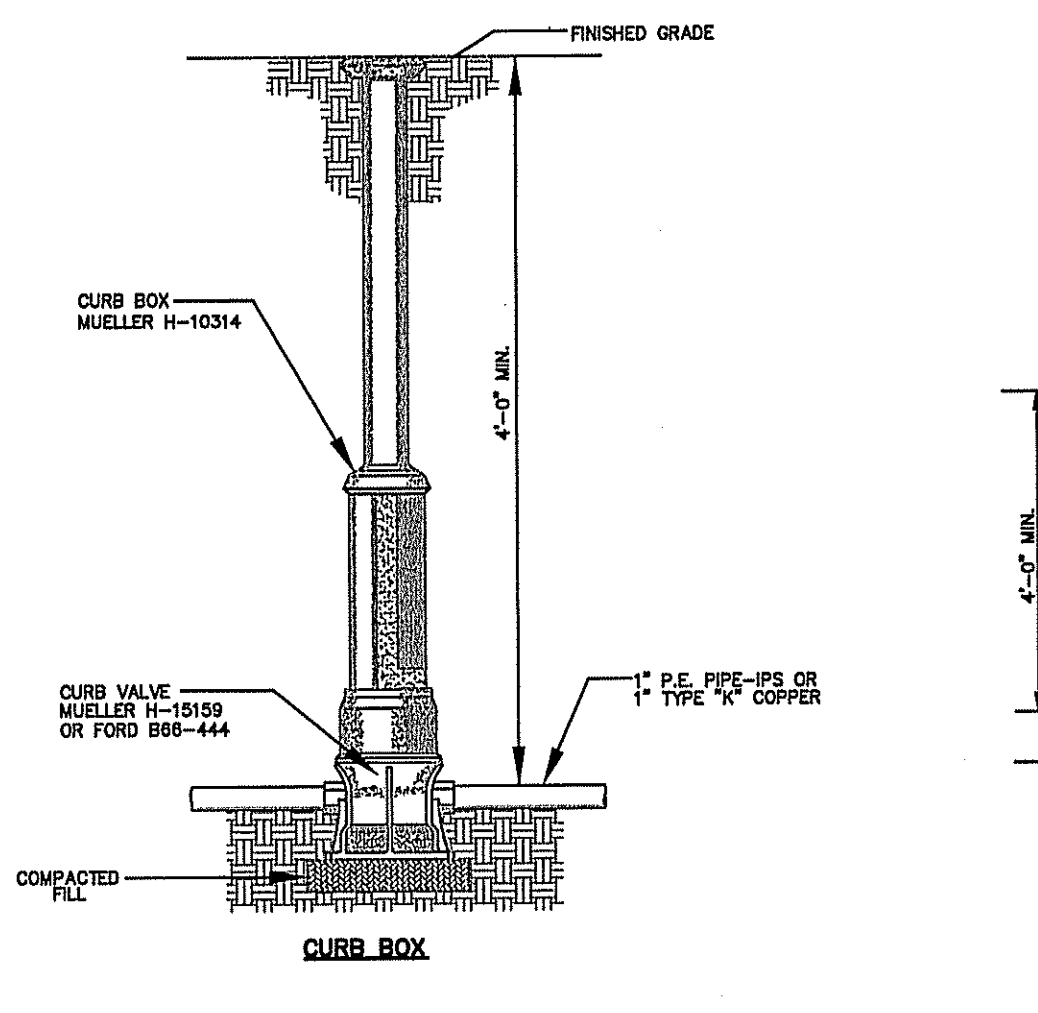
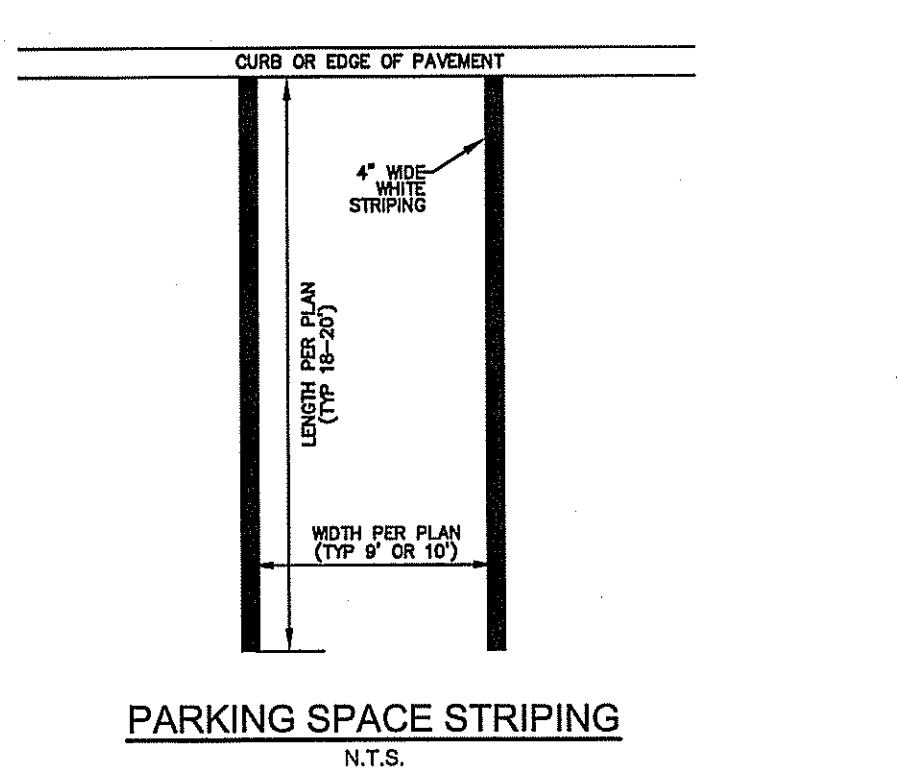
DRAWN BY: JSM SCALE: 1"=30' DATE: 8/9/2018 SHEET: 9 OF 12 PROJECT: 18021



DIAMETER [d] OF PIPE	CONTACT AREA - SQUARE FEET					
	6"	8"	10"	12"	16"	20"
HYDRANT = FROM 10' TO 40'	3.0	5.0	8.0	11.5	18.0	28.0
HYDRANT = FROM 40' TO 90'	6.0	9.5	13.0	19.0	33.0	51.0
TEE CONNECTION	4.0	6.5	9.5	13.5	23.0	36.0
LATERAL CROSS CONNECTION	4.0	6.5	9.5	13.5	23.0	36.0
PIPE	7.5	12.5	18.0	22.5	44.0	68.0

CONCRETE THRUST BLOCKS
N.T.S.

NOTES:
1. ALL HORIZONTAL BENDS SHALL HAVE CONCRETE THRUST BLOCKS WITH MINIMUM BEARING AREA AGAINST UNDISTURBED SOIL AS SHOWN ON THIS DRAWING.
2. BEARING AREAS ARE BASED UPON UNDISTURBED SOIL WITH A MIN. BEARING CAPACITY OF 0.5 TONS PER SQUARE FOOT. FOR A LESSER SOIL BEARING CAPACITY THESE AREAS SHALL BE INCREASED ACCORDINGLY.
3. THRUST BLOCKS SHALL BE POURED DIRECTLY AGAINST TRENCH WALLS.
4. DETAILS FOR SUPPORTS OR BRACING FOR VERTICAL BENDS FOR 12" DIAMETER OR LARGER SHALL BE APPROVED BY THE AUTHORITY ENGINEER PRIOR TO CONSTRUCTION.
5. NO JOINT SHALL BE COVERED WITH CONCRETE.
6. CONCRETE SHALL BE 3000 P.S.I.



3	9/27/19	ADDED SHEET 7 TO SET	JSM
2	6/26/19	REVISED PER PINELANDS COMMISSION LETTER 2/15/19, SCD LETTER 2/14/19 AND OCPB LETTER 2/20/19	KJW
1	01/11/19	REVISED PER PINELANDS COMMISSION LETTER 9/13/18, SCD LETTER 10/2/18 AND OCPB LETTER 9/19/18	KJW
NO.	DATE	REVISION DESCRIPTION	BY

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PRELIMINARY & FINAL MAJOR SITE PLAN CONSTRUCTION DETAILS
141 OFFICE PARK, LLC
LOT 5 BLOCK 109
TOWNSHIP OF MANCHESTER OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 340202815600
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY: JSM
SCALE: 1"=30'
DATE: 8/9/2018
SHEET: 11 OF 12
PROJECT: 18021

